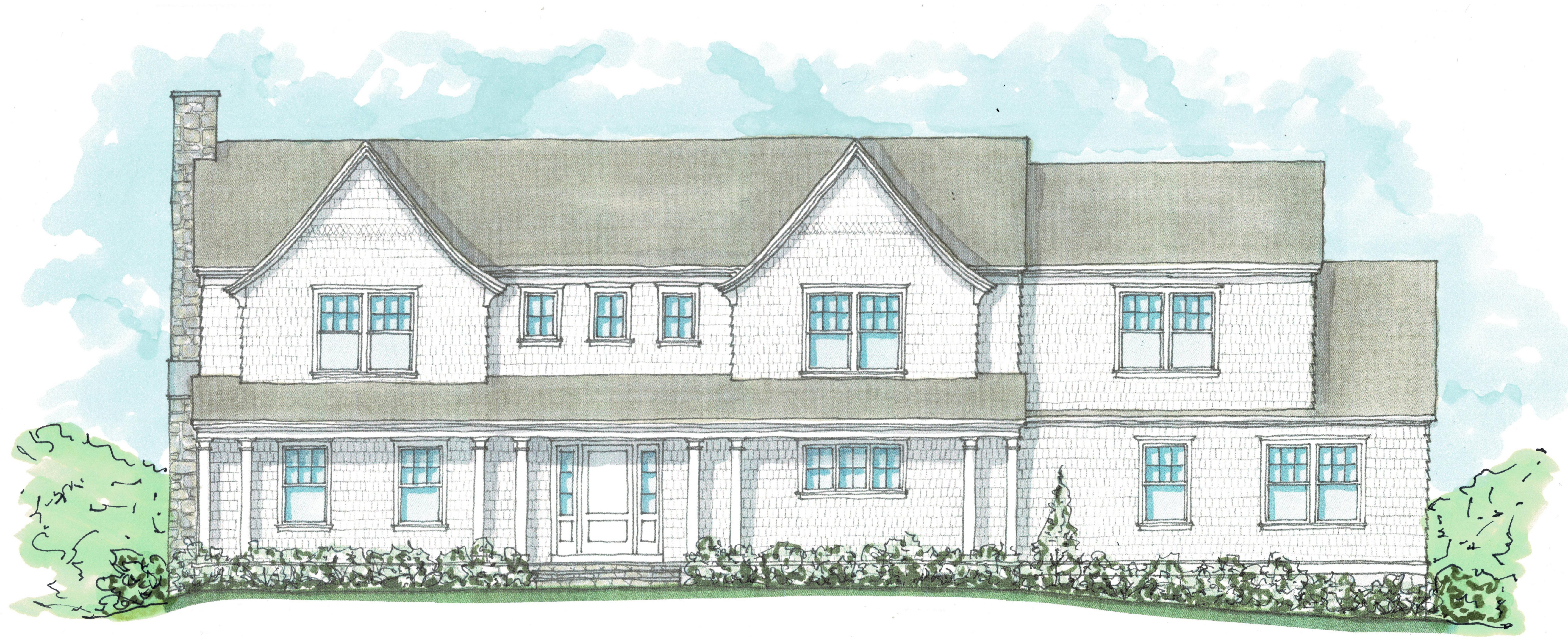


RHOTEN RESIDENCE
71 HILLCREST AVENUE, SUMMIT, NEW JERSEY



TIA design, llc
ARCHITECTS

ELIZABETH LEEDS, RA
NJ LIC. AI-14378 NY LIC. 024521
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NJ LIC. AI-13993

1155 STAFFLER ROAD, BRIDGEWATER, NJ 908.337.6176

RHOTEN RESIDENCE
71 HILLCREST AVENUE
SUMMIT, NEW JERSEY

DATE: 01.14.25

ISSUED FOR VARIANCE: 01.24.25

Kimberly Tone

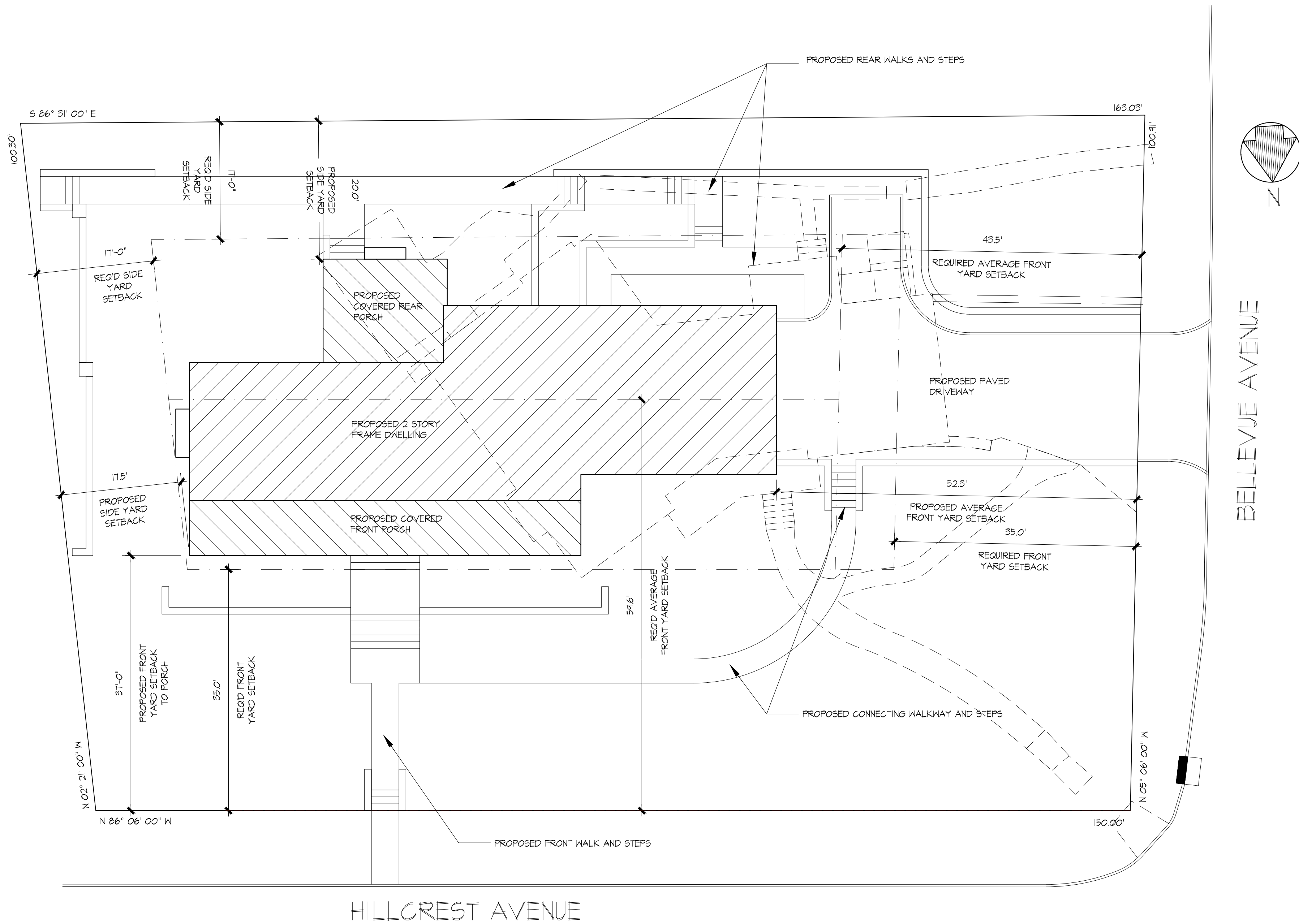
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COVER SHEET

DRAWING NUMBER:

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SHEET 0 OF 6

RHOTEN RESIDENCE
71 HILLCREST AVENUE, SUMMIT, NEW JERSEY



SITEPLAN
SCALE: 1" = 10'-0"

INFORMATION ON THE PROPOSED SITE PLAN HAS BEEN
TAKEN FROM A GRADING PLAN/SURVEY PREPARED BY:

ANDREW CLARKE, PLS, PE
ABC SURVEYS, LLC
466 SOUTHERN BOULEVARD
CHATHAM, NJ 07928
TEL (913) 311-2174
DATE 06.30.25

DRAWING LIST

- V-1 SITE PLAN, DRAWING LIST, LIST OF VARIANCES, ZONING INFORMATION
- V-2 FIRST FLOOR PLAN
- V-3 SECOND FLOOR PLAN
- V-4 BASEMENT PLAN, LOWER BASEMENT PLAN
- V-5 HILLCREST AVENUE ELEVATION, SIDE ELEVATION
- V-6 BELLEVUE AVENUE ELEVATION, SIDE ELEVATION

LIST OF VARIANCES

- 1 AVERAGE FRONT YARD SETBACK TO HILLCREST AVENUE
- 2 GARAGE DOORS FACING THE STREET
- 3 BUILDING COVERAGE
- 4 LOT COVERAGE

PROJECT INFORMATION

OWNER: RHOTEN RESIDENCE
ADDRESS: 71 HILLCREST AVENUE, SUMMIT, NEW JERSEY
USE GROUP: R 5
CONSTRUCTION CLASSIFICATION: 5B
BLOCK: 2006 LOT: 10
CODE: IRC 2021 - NEW JERSEY EDITION AND NUCC

ZONING INFORMATION

ZONE: R-25	REQUIRED	EXISTING	PROPOSED
LOT AREA	25,000 S.F.	15,700 S.F.	15,700 S.F.
LOT WIDTH - HILLCREST AVENUE	100'	154.6'	154.6'
LOT WIDTH - BELLEVUE AVENUE	100'	100.6'	100.6'
FRONT YARD SETBACK-HILLCREST AVE	35'	33.7'	31.0'
FRONT YARD SETBACK-HILLCREST AVE	35'	21.3'	52.3'
AVERAGE FRONT YARD SETBACK HILLCREST AVE	54.6'	N/A	31.0'
AVERAGE FRONT YARD SETBACK BELLEVUE AVE	43.5'	N/A	52.3'
SIDE YARD SETBACK - HILLCREST AVE	N/A	N/A	N/A
SIDE YARD SETBACK - BELLEVUE AVE	17'	16.7'	20.0'
SIDE YARD COMBINED - HILLCREST AVE	40% (61.8')	52.6% (81.3')	45.1% (69.8')
SIDE YARD COMBINED - BELLEVUE AVE	40% (40.2')	50.1% (50.4')	56.1% (51.0')
LOT COVERAGE	30% (4,110 S.F.)	24.4% (3,835 S.F.)	32.6% (5,126 S.F.)
BUILDING COVERAGE	14% (2,148 S.F.)	13.8% (2,154 S.F.)	17.3% (2,715 S.F.)
BUILDING HEIGHT	35'	--	34.4'
NUMBER OF STORIES	2	2	2
FLOOR AREA RATIO	25% (3,425 S.F.)	--	24.2% (3,803 S.F.)
GARAGE DOORS FACING THE STREET		EXISTING GARAGE DOORS FACE BELLEVUE AVE	PROPOSED GARAGE DOORS FACE BELLEVUE AVE

* PROPOSED VARIANCE

F.A.R. CALCULATIONS	
	PROPOSED
FIRST FLOOR	1,915 SF
SECOND FLOOR	1,808 SF
ATTIC	0 SF
TOTAL	3,803 SF (24.2%)

BUILDING COVERAGE CALCULATIONS	
	PROPOSED
PROPOSED HOUSE	1,915 SF
PROPOSED COVERED FRONT PORCH	454 SF
PROPOSED COVERED REAR PORCH	266 SF
TOTAL	2,715 SF (17.3%)

LOT COVERAGE CALCULATIONS	
	PROPOSED
PROPOSED HOUSE	2,715 SF
CHIMNEYS	24 SF
FRONT WALKS AND STEPS	260 SF
FRONT CONNECTING WALKWAY	240 SF
DRIVENWAY	1,187 SF
REAR WALKS AND STEPS	650 SF
TOTAL	5,126 SF (32.6%)

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RHOTEN RESIDENCE
71 HILLCREST AVENUE
SUMMIT, NEW JERSEY

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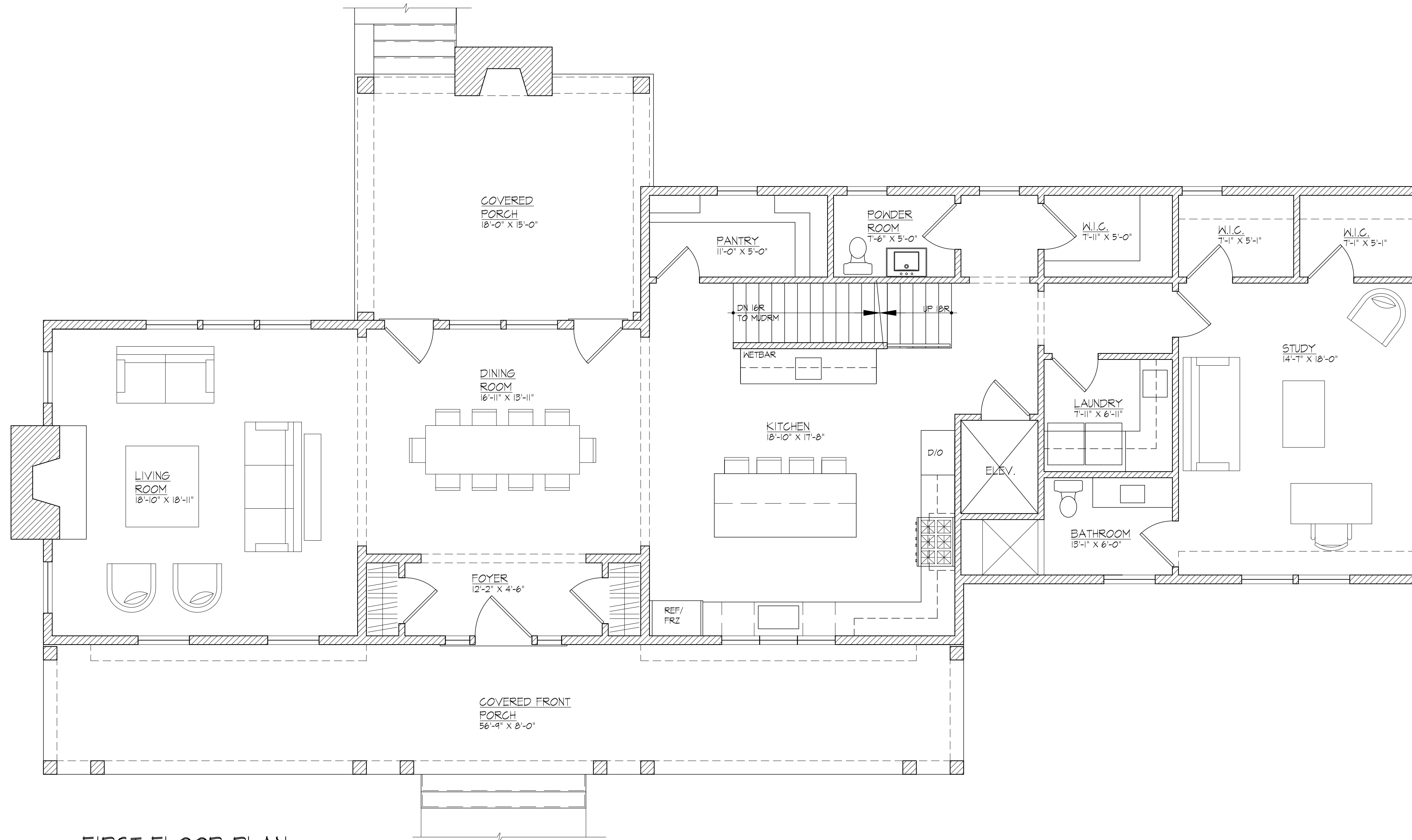
DRAWING TITLE:
DRAWING LIST, ZONING
INFORMATION, LIST OF
VARIANCES, PROPOSED SITE
PLAN

DRAWING NUMBER:

V-1

SHEET 1 OF 6

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1
V-2
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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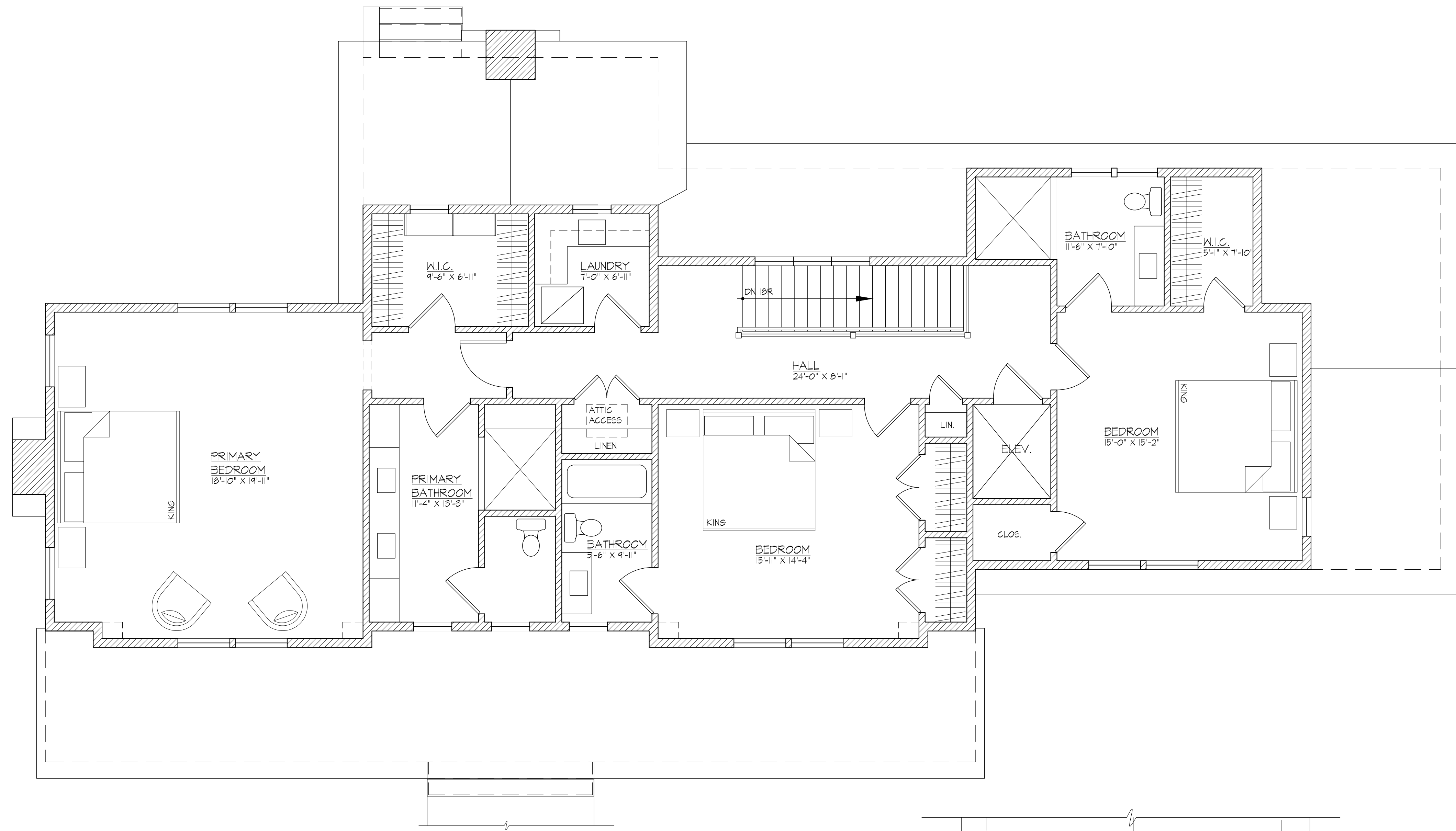
Kimberly Tone

DRAWING TITLE:
PROPOSED FIRST FLOOR PLAN

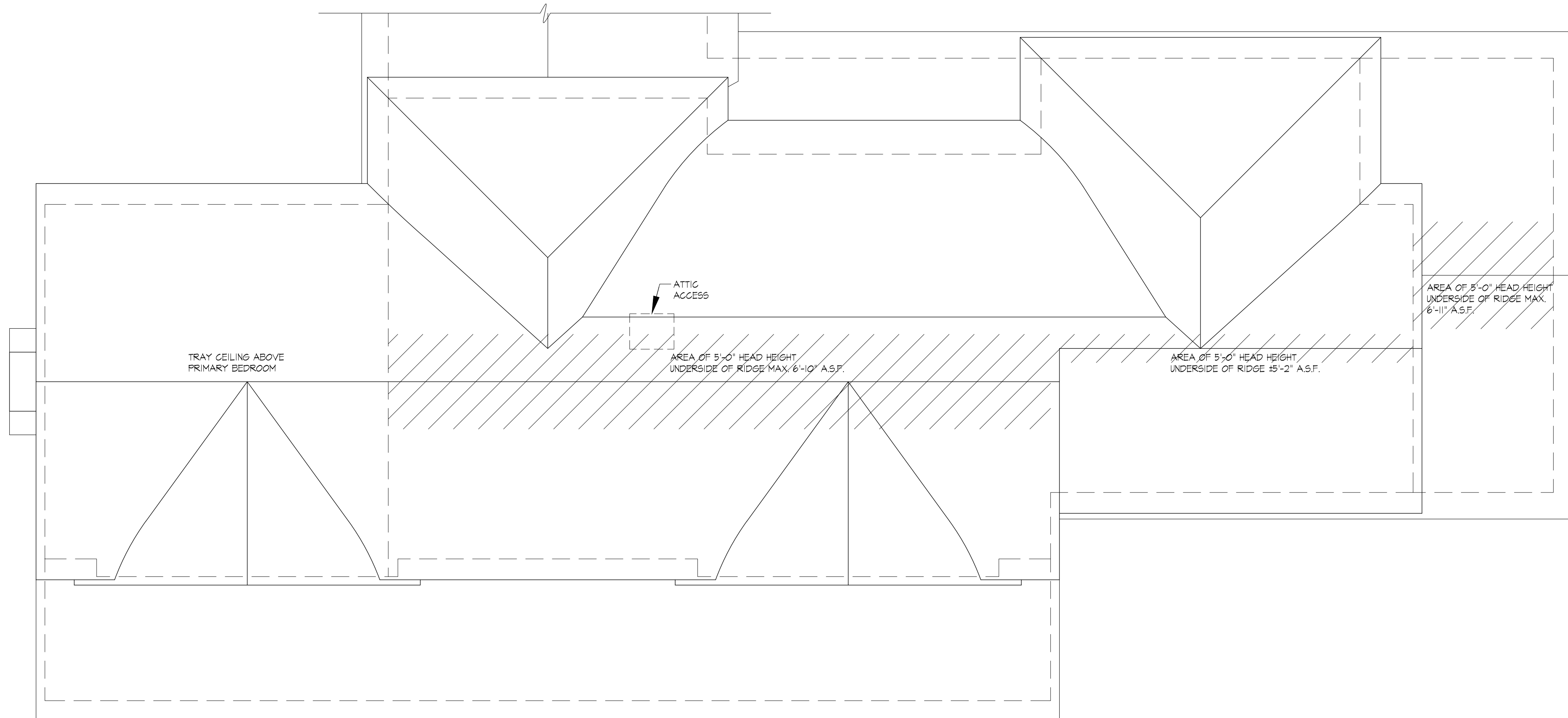
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V-2

SHEET 2 OF 6



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 ROOF/ATTIC PLAN
SCALE: 1/4" = 1'-0"

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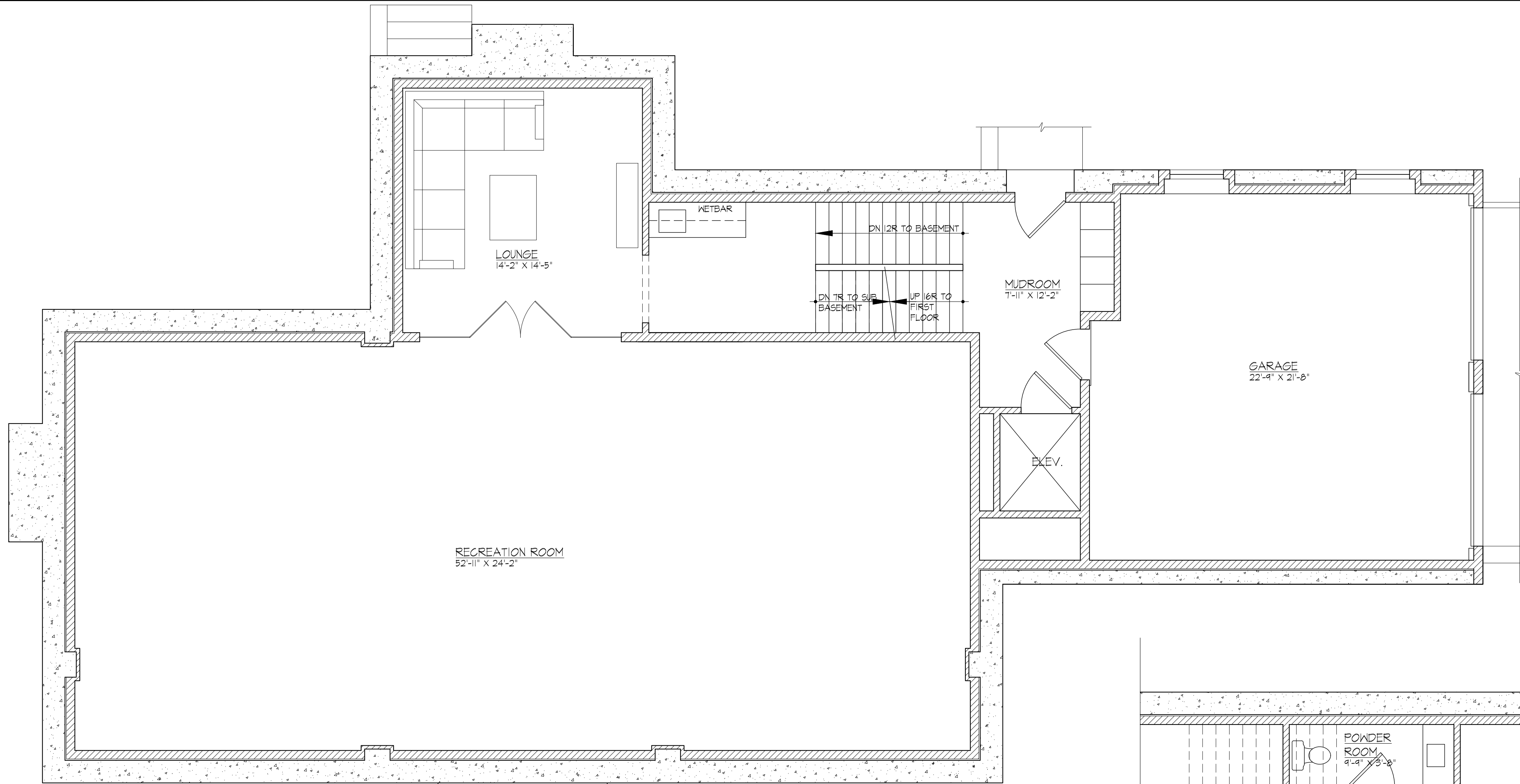
Kimberly Tone

DRAWING TITLE:
PROPOSED SECOND FLOOR
PLAN, PROPOSED ROOF/ATTIC
PLAN

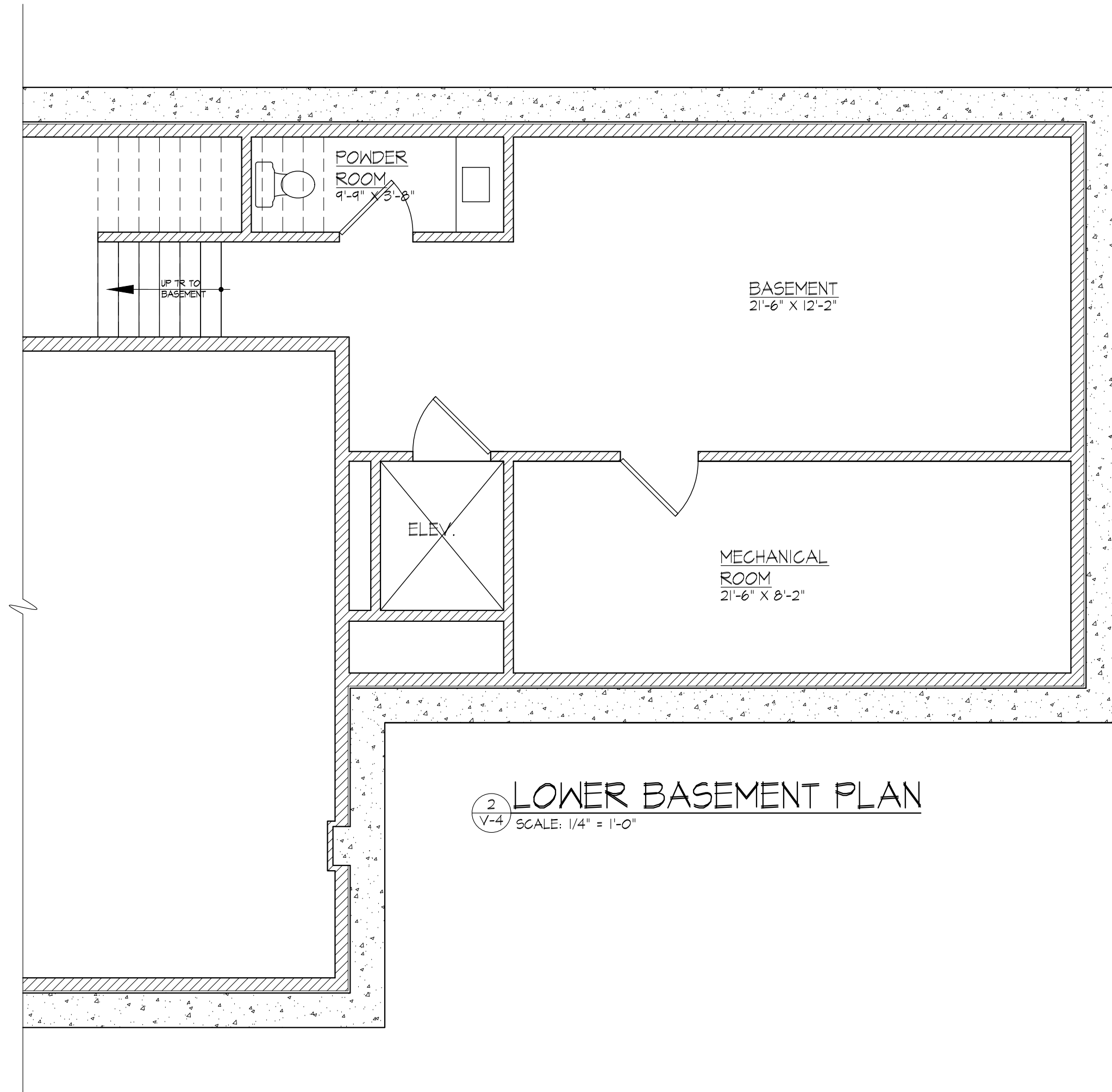
DRAWING NUMBER:

V-3

SHEET 3 OF 6



BASEMENT PLAN
SCALE: 1/4" = 1'-0"



LOWER BASEMENT PLAN
SCALE: 1/4" = 1'-0"

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71 HILLCREST AVENUE
SUMMIT, NEW JERSEY

DATE: 01.14.25
ISSUED FOR VARIANCE: 01.24.25

Kimberly Tone

DRAWING TITLE:
PROPOSED BASEMENT PLAN

DRAWING NUMBER:

V-4

SHEET 4 OF 6

ATTIC FLOOR
SECOND FLOOR CEILING
8'-0"
SECOND FLOOR
FIRST FLOOR CEILING
10'-0"
FIRST FLOOR



- FIBERGLASS SHINGLE ROOF
- CEDAR SHINGLE SIDING
- MARVIN (OR EQUAL) WINDOWS AND EXTERIOR DOORS
- PAINTED AZEK TRIM AROUND HOUSE
- ALUMINUM GUTTERS AND LEADERS
- THIN STONE AT FOUNDATION
- BLUESTONE PLATFORMS AND EXTERIOR STAIR TREADS

1 HILLCREST AVENUE ELEVATION
V-5 SCALE: 1/4" = 1'-0"

39'-4.75"
MAXIMUM BUILDING HEIGHT
ATTIC FLOOR
SECOND FLOOR CEILING
8'-0"
SECOND FLOOR
FIRST FLOOR CEILING
10'-0"
FIRST FLOOR
BASEMENT CEILING
9'-2"
MUDROOM FINISH FLOOR
GARAGE SLAB
0'-0"



2 SIDE ELEVATION
V-5 SCALE: 1/4" = 1'-0"

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DATE: 01.14.25
ISSUED FOR VARIANCE: 01.24.25

Kimberly Tone

DRAWING TITLE:
PROPOSED HILLCREST AVENUE
AND SIDE ELEVATION

DRAWING NUMBER:

V-5

SHEET 5 OF 6



1
V-6
SIDE ELEVATION
SCALE: 1/4" = 1'-0"



2
V-6
BELLEVUE AVENUE ELEVATION
SCALE: 1/4" = 1'-0"

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SUMMIT, NEW JERSEY

DATE: 01.14.25

ISSUED FOR VARIANCE: 01.24.25

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DRAWING TITLE:
PROPOSED BELLEVUE AVENUE
AND SIDE ELEVATION

DRAWING NUMBER:

V-6

SHEET 6 OF 6