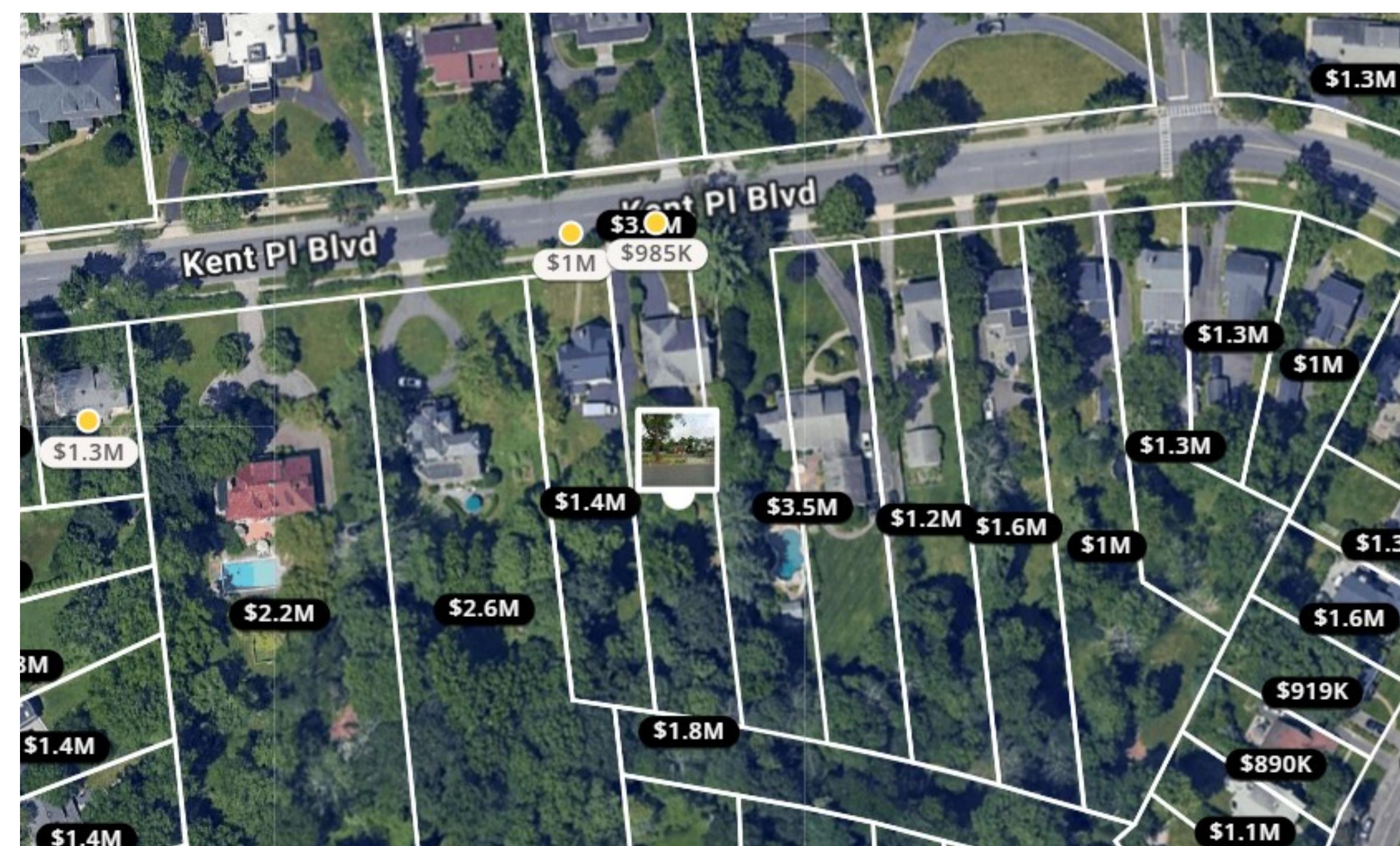
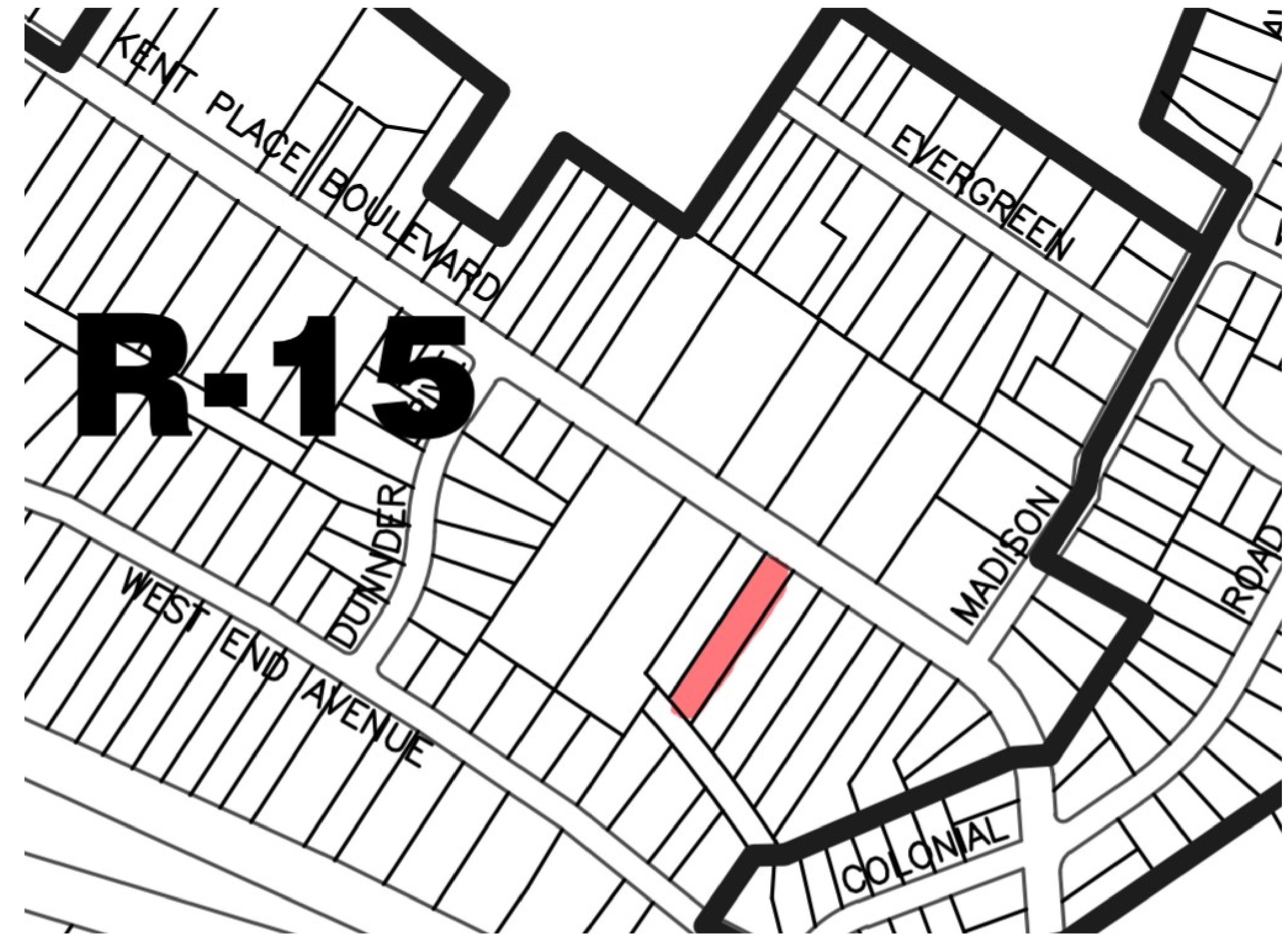
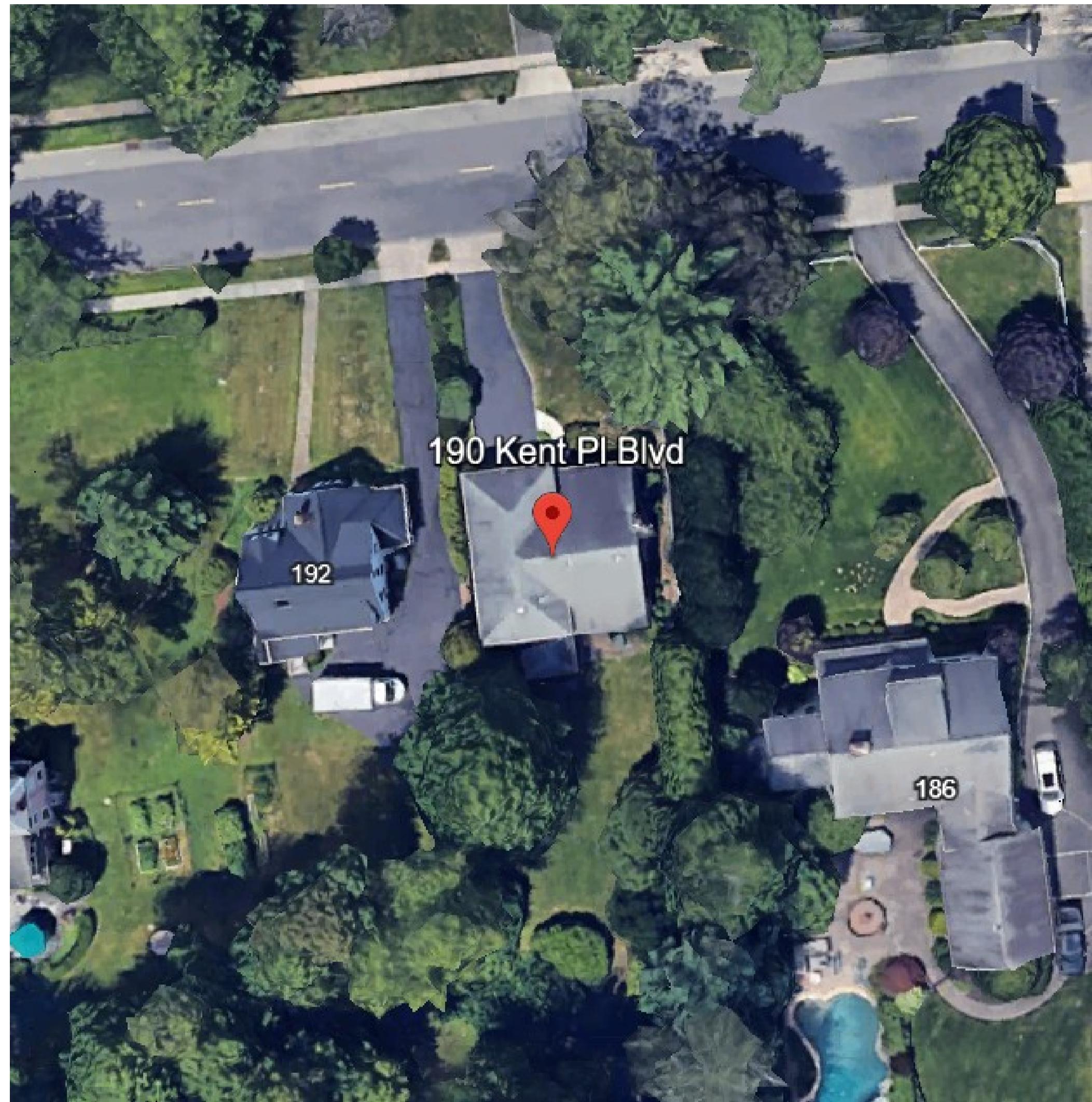


190 kent place boulevard



SUMMIT ZONING REVIEW FORM

DATE FILED: 07/14/2025

APPLICANT: JORDAN & MRUDULA GLASSBERG TELEPHONE: 765-610-5597
 ADDRESS: 190 KENT PLACE BLVD BLOCK: 1402 LOT: 7
 PROJECT: GLASSBERG RESIDENCE ZONE: R-15

ZONING DETAIL INSTRUCTIONS AND NOTES: Complete the table below; some entries require both a number and percent. Attach a copy of the current survey, showing the location of the proposed construction.

ON AN ATTACHED PAGE, SHOW ALL CALCULATIONS USED TO DERIVE YOUR FIGURES

- Building area is the area of all covered or roofed areas on the lot including decks, cantilevered areas, bay or bow windows and similar projections, but not including roof eaves or chimneys projecting a maximum of 24 inches from the structure.
- Lot coverage is the area of all buildings on the lot plus the area covered by all other impervious surfaces such as driveways, swimming pools, patios, paddle tennis courts, tennis courts, and similar structures, divided by the lot area, expressed as a percentage.
- Floor area ratio for single family and two family dwellings is the sum of the gross floor areas of each floor measured from the exterior face of exterior walls including areas in the attic with headroom above 7 feet, but not including the area of the required garage, divided by the lot area, expressed as a percentage.
- Floor area ratio for multi-family or commercial structures, please see DRO Article 4, Definitions.
- Garage attached or part of house? YES * NO * Doors face street? YES * NO *
- Accessory structure located in rear yard or buildable area? YES * NO *, and a minimum of four feet from side and rear property lines? YES * NO *

TABLE ITEM	REQUIRED	EXISTING	PROPOSED	COMMENTS	VAR?
Lot Area (in square feet)	15,000 SF	20,779 SF	UNCHANGED		
Lot Width in Feet (at building line)	90 FT	60 FT	UNCHANGED	EX-NON CONFORM	NO
Front Yard (minimum in feet)	35 FT	52.1 FT	50.3 FT		
Rear Yard (minimum in feet)	45 FT	243.6 FT	233.3 FT		
Side Yard (minimum in feet)	15 FT	8.2 FT L 7.3 FT R	8.2 FT L UNCHANGED	EX-NON CONFORM	YES
Total Side Yard % (see note 2)	35% / 21 FT	25.8% / 15.5 FT	25.8% / 15.5 FT	EX-NON CONFORM	YES
Lot Coverage & % (see note 2)	35% / 7,272.7 SF	16.0% / 3,255.5 SF	17.9% / 3,728.9 SF		
Bldg. Coverage & % (see note 1)	18% / 3,740.2 SF	9.9% / 2,067.9 SF	11.1% / 2,297.1 SF		
Building Height (feet/stories)	35 FT / 2 STORIES	31.3 FT / 2 STORIES	31.3 FT / 2 STORIES	UNCHANGED	
Floor Area Ratio (see note 3)	25% / 5,194.8 SF	14.2% / 2,946.2 SF	17.1% / 3,544.3 SF	INCLUDES GROUND LEVEL & ATTIC LEVEL	

*** FOR OFFICE USE ONLY *** DO NOT WRITE BELOW THIS LINE ***

ZONING OFFICER COMMENTS:

APPLICATION APPROVED / DENIED	FURTHER APPLICATION(S) REQUIRED:
Zoning Officer _____ Date _____	Site Plan (major/minor) Subdivision (major/minor) Variance (see VAR column above)

ZONE: R-15
 USE GROUP: R-5 SINGLE FAMILY
 CONST. CLASS: 5B

AREA OF 1ST FLR ADDITION: 38 SQ.FT.
 AREA OF ATTIC ADDITION: 492 SQ.FT.
 VOLUME OF ADDITION: 4,240 CU.FT.

ZONING CHART

1
V-1
N.T.S.

BUILDING DEPARTMENT DATA

2
V-1
N.T.S.

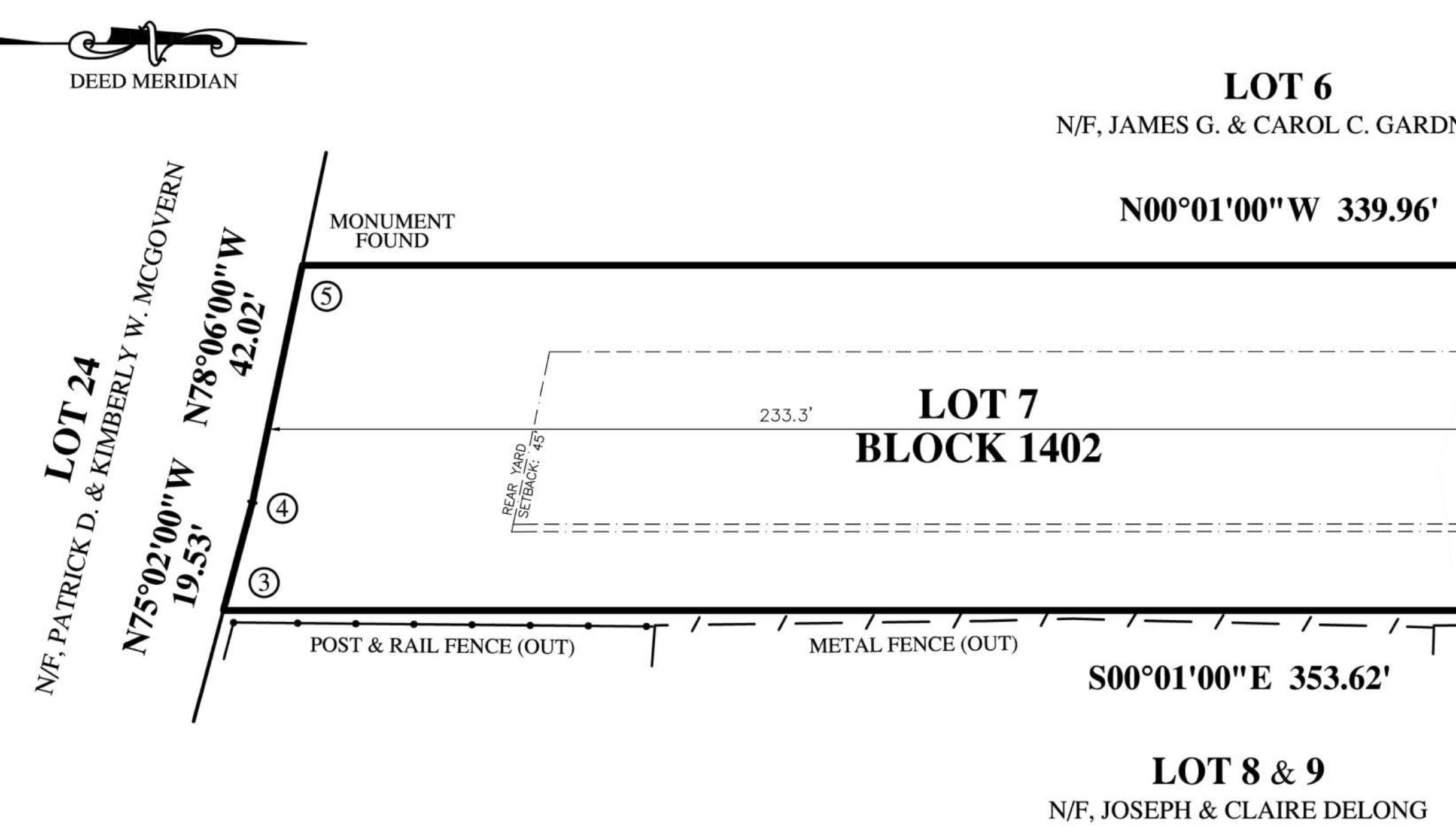
LOCATION SURVEY
 PREPARED FOR
JORDAN B. & MRUDULA B. GLASSBERG, H/W
LOT 7, BLOCK 1402
 CITY OF SUMMIT, UNION COUNTY, NEW JERSEY

SCALE: 1" = 20'

AUGUST 22, 2023

MICHAEL A. CATALANO, PROFESSIONAL LAND SURVEYOR, N.J. LICENSE No. 17778

MICHAEL A. CATALANO
 LAND SURVEYING --- PLANNING
 P.O. BOX 252, 17 HIGH STREET, NEWTON, NEW JERSEY 07860
 TEL: (973) 383-7102 FAX: (973) 383-3740
 EMAIL: mikecatalano@embarqmail.com



SITE PLAN

SCALE 1" = 20'-0"

3
V-1

Dubinett
 28 FARLEY PLACE
 SHORT HILLS, NJ 07078
 TEL: (973) 467-4477
 EMAIL: DANIAL@DUBINETT.NET

PROJECT: PROPOSED ADDITION & RENOVATION FOR:
GLASSBERG RESIDENCE
 TEL: 765-610-5597 Mrudula
 EMAIL: mrudulaborse@gmail.com
 BLOCK: 1402
 190 KENT PL BLVD

SIGNATURES:

ZONING OFFICER

BOARD CHAIRMAN

BOARD SECRETARY

DRAWN BY: DD

DATE: 7/18/2025

FOR VARIANCE:

FOR BID:

FOR PERMIT:

FOR CONST:

REVISIONS: DATE:

DANIAL DUBINETT
 NJ #15374

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DRAWING #:

V-1

SHEET #:

1 OF 6

NOTES:

- "A WRITTEN, 'WAIVER AND DIRECTION NOT TO SET CORNER MARKERS', HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L.2003, c14(C45:8-36.3) AND N.J.A.C. 13:40-5.1(d) AND 5.2"
- THIS SURVEY WAS PREPARED FROM INFORMATION FURNISHED TOGETHER WITH EVIDENCE FOUND ON THE GROUND AND IS SUBJECT TO ALL EASEMENTS OR RESTRICTIONS OF RECORD, UNDERGROUND UTILITIES, SHOULD ANY EXIST, AND TO SUCH STATE OF FACT THAT AN ACCURATE TITLE SEARCH MAY REVEAL.
- OFFSETS SHOWN HEREON ARE FOR TITLE PURPOSES ONLY AND NOT TO BE USED TO DETERMINE BOUNDARIES FOR CONSTRUCTION PURPOSES.

REFERENCE:

- LOT 7, BLOCK 1402, CITY OF SUMMIT TAX MAP.
- RECORD DEED: MARGARET H. LINDBERG, WIDOW, TO JOSEPH H. CONDON AND CAROL M. CONDON, HIS WIFE, DATED DECEMBER 29, 1969 AND RECORDED IN THE UNION COUNTY CLERK'S OFFICE ON JANUARY 8, 1970 IN BOOK 2880 OF DEEDS, PAGE 159.

CERTIFIED TO:

JORDAN B. GLASSBERG AND MRUDULA M. GLASSBERG, H/W;
 CITIBANK, N.A., ITS SUCCESSORS AND/OR ASSIGNS
 AS THEIR INTERESTS MAY APPEAR;
 FIDELITY NATIONAL TITLE INSURANCE COMPANY;
 WEICHERT TITLE AGENCY, #W545633;
 EDWARD P. PAPALIA, JR., ESQ.;
 MATTHEW VAN NATEN, ESO.

PROJECT:
PROPOSED ADDITION & RENOVATION FOR:
GLASSBERG RESIDENCE

TEL: 765-610-5597 Mrudula
EMAIL: mrudulaborse@gmail.com
BLOCK: 1402
190 KENT PL BLVD
LOT: 7
SUMMIT, NJ 07901

SIGNATURES:

ZONING OFFICER

BOARD CHAIRMAN

BOARD SECRETARY

DRAWN BY: DD

DATE: 7/18/2025

FOR VARIANCE:

FOR BID:

FOR PERMIT:

FOR CONST:

REVISIONS: DATE:

1

2

DANIAL DUBINETT
NJ #15374

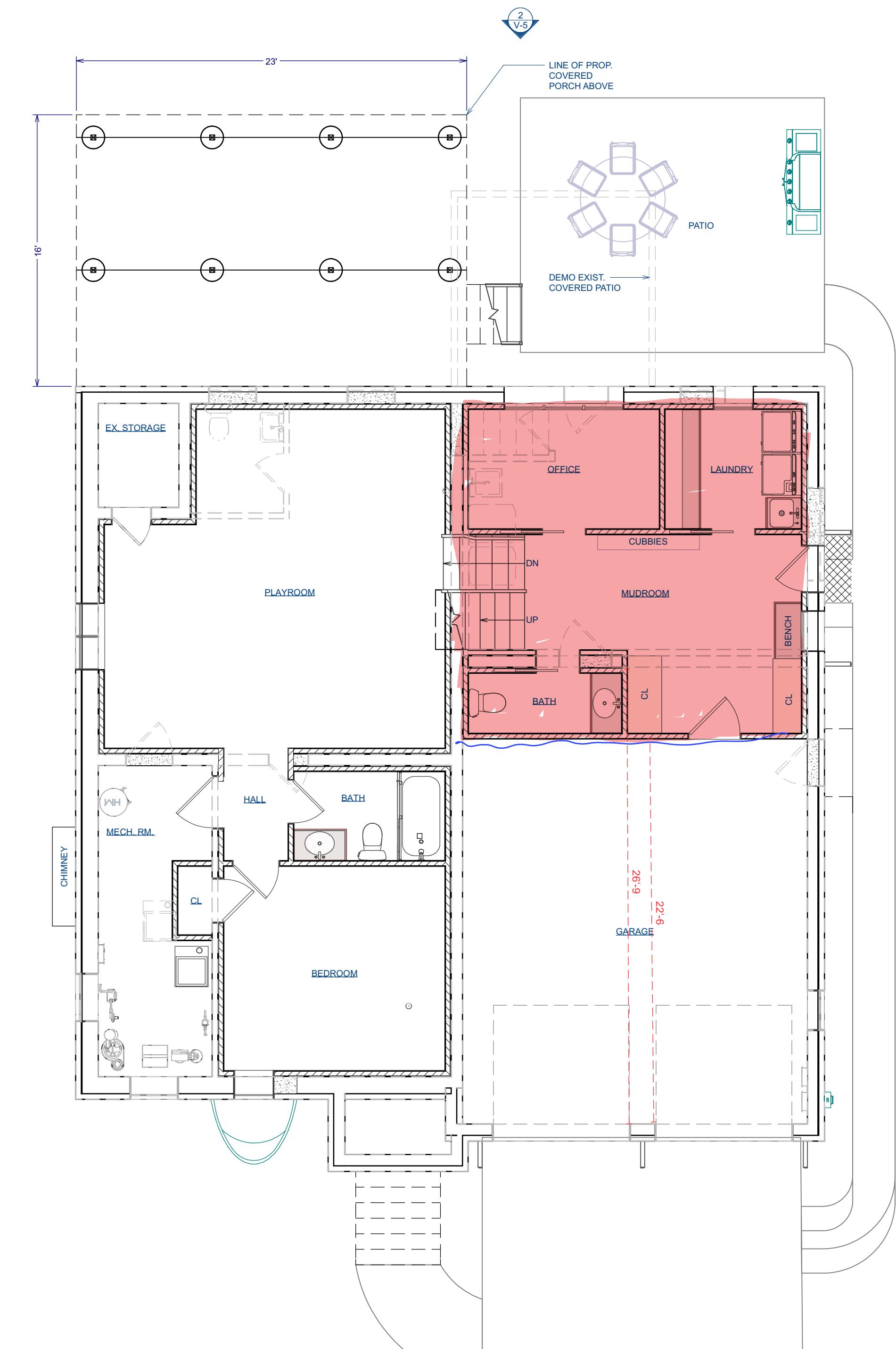
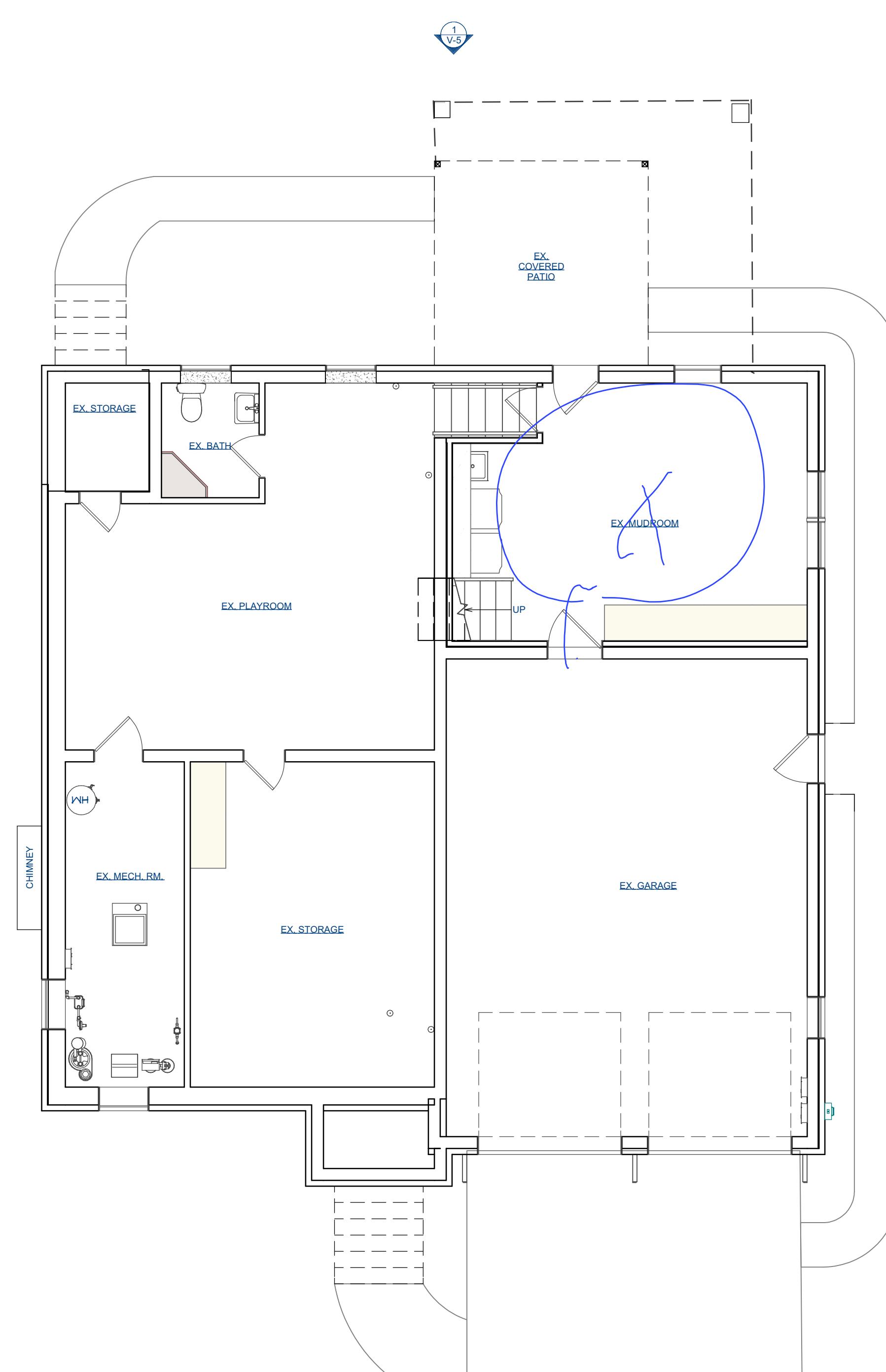
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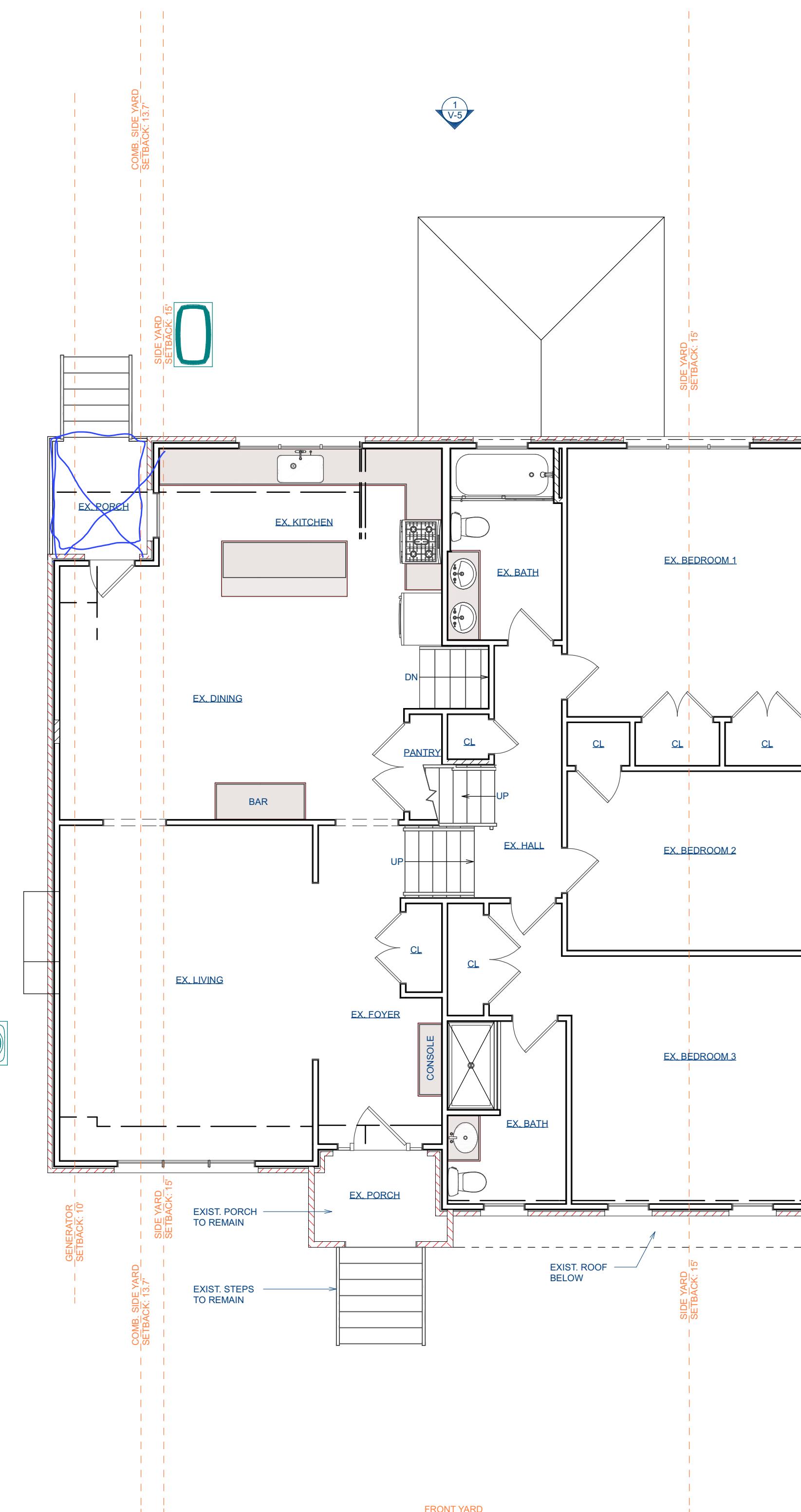
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V-2

SHEET #:

2 OF 6



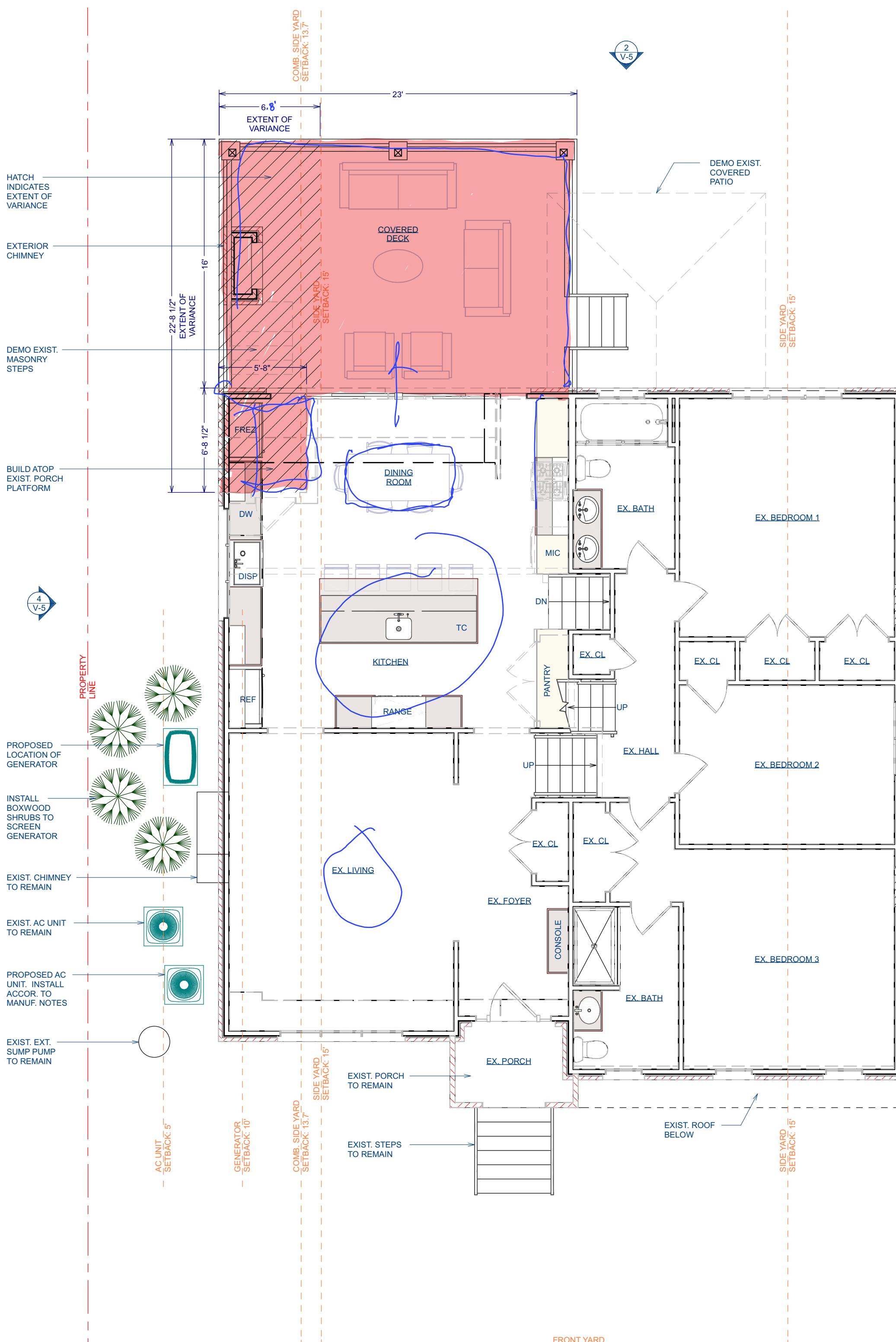


EXISTING FIRST FLOOR PLAN

SCALE 3/16" = 1'-0"

SCALE 3/16" = 1

1ST FLR FAR: 874.32 SF
1.5 FLR FAR: 947.09 SF



PROPOSED FIRST FLOOR PLAN

1ST FLR FAR: 912.34 SF
1.5 FLR FAR: 947.09 SF

PROJECT:
PROPOSED ADDITION & RENOVATION FOR:
GLASSBERG RESIDENCE
TEL: 765-610-5597 Mrudula
EMAIL: mrudulaborse@gmail.com
LOT: 7
SUMMIT, NJ 07901

SIGNATURES:

ZONING OFFICER _____

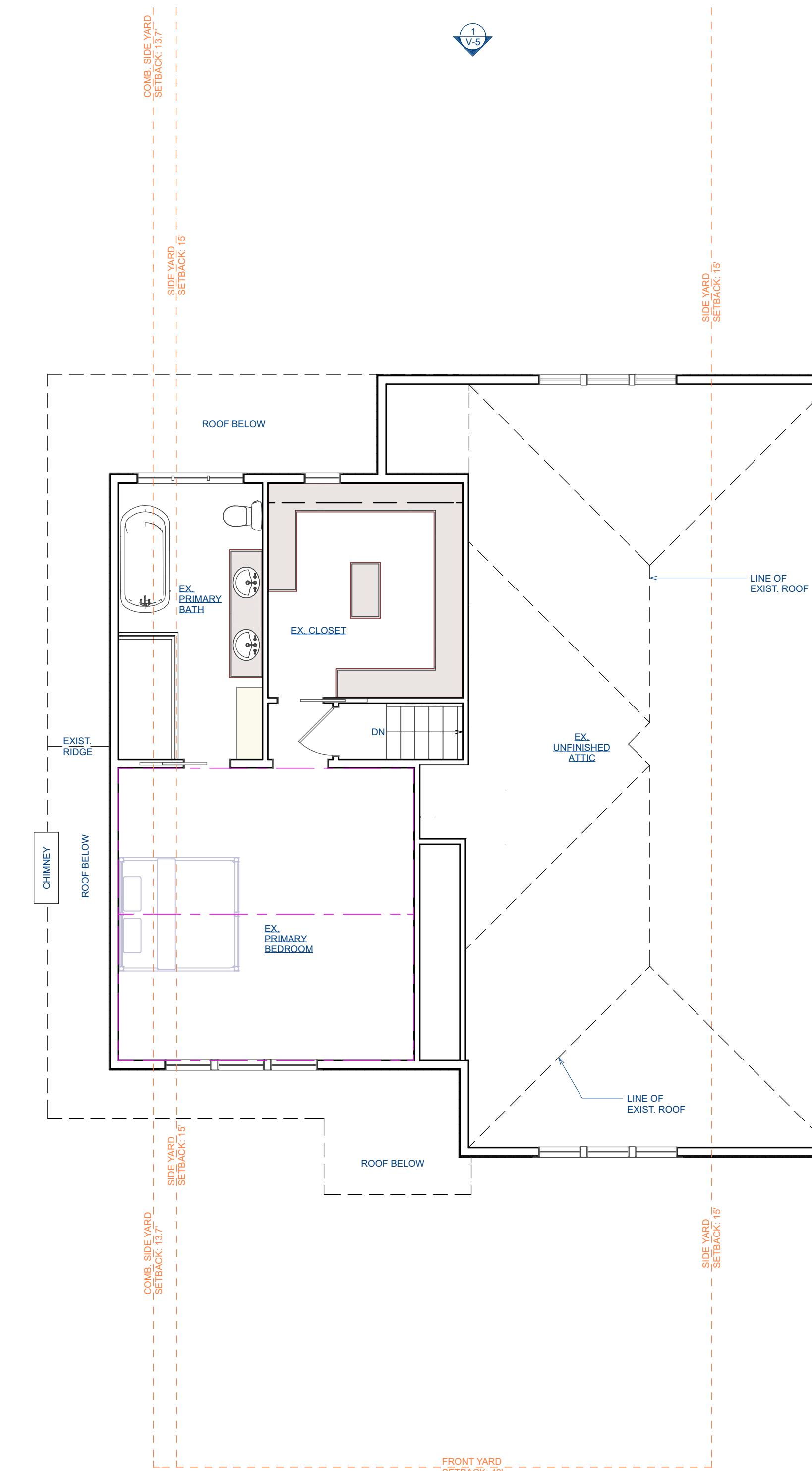
BOARD CHAIRMAN _____

BOARD SECRETARY
DRAWN BY: DD
DATE: 7/18/2025
FOR VARIANCE:
FOR BID:
FOR PERMIT:
FOR CONST:
REVISIONS: DATE:

DANIAL DUBINETT
NJ #15374

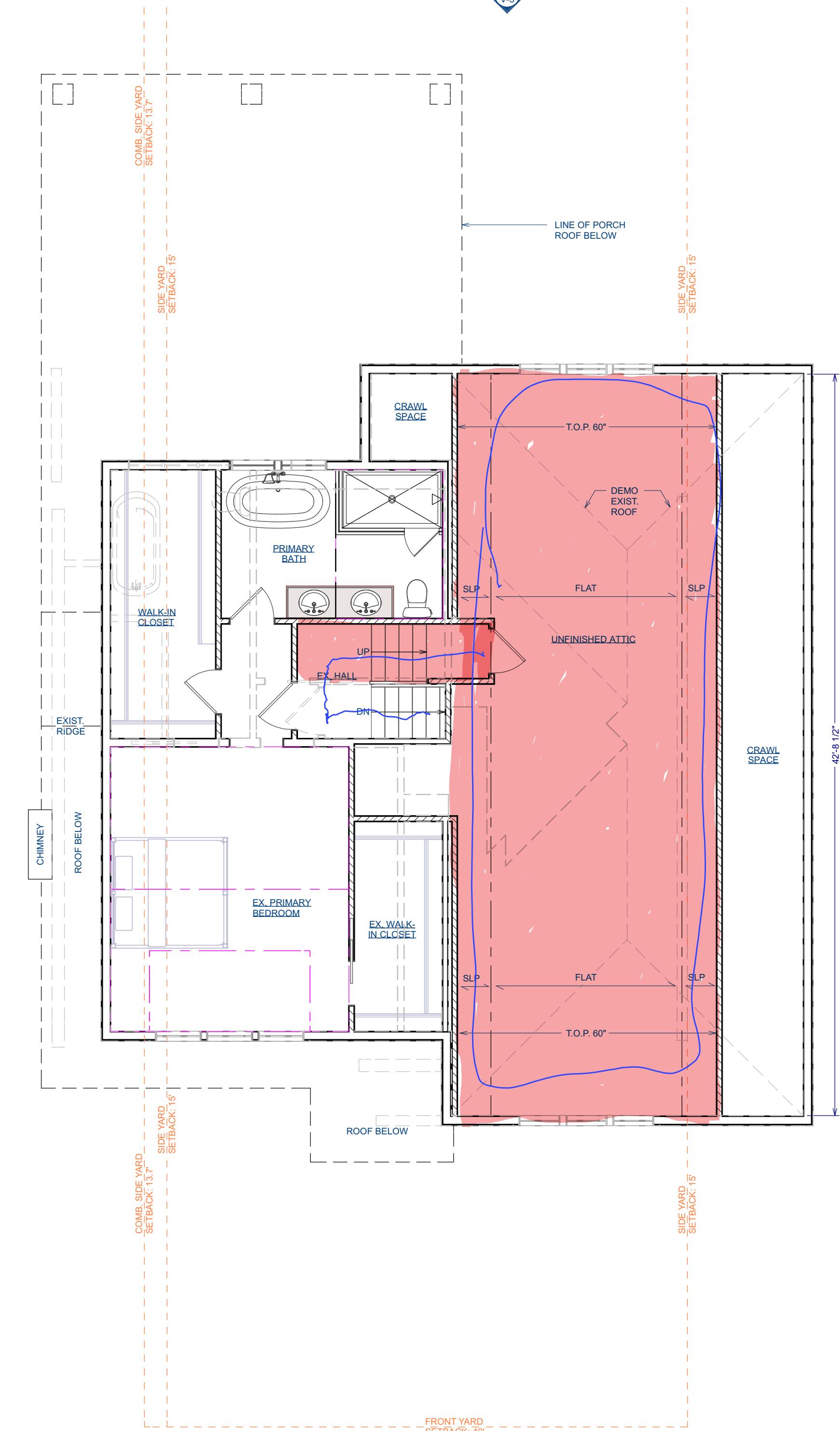
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DRAWING #:
V-4
SHEET #:
4 OF 6



EXISTING SECOND FLOOR PLAN
1 V-4
SCALE 3/16" = 1'-0"

2ND FLR FAR: 749.43 SF

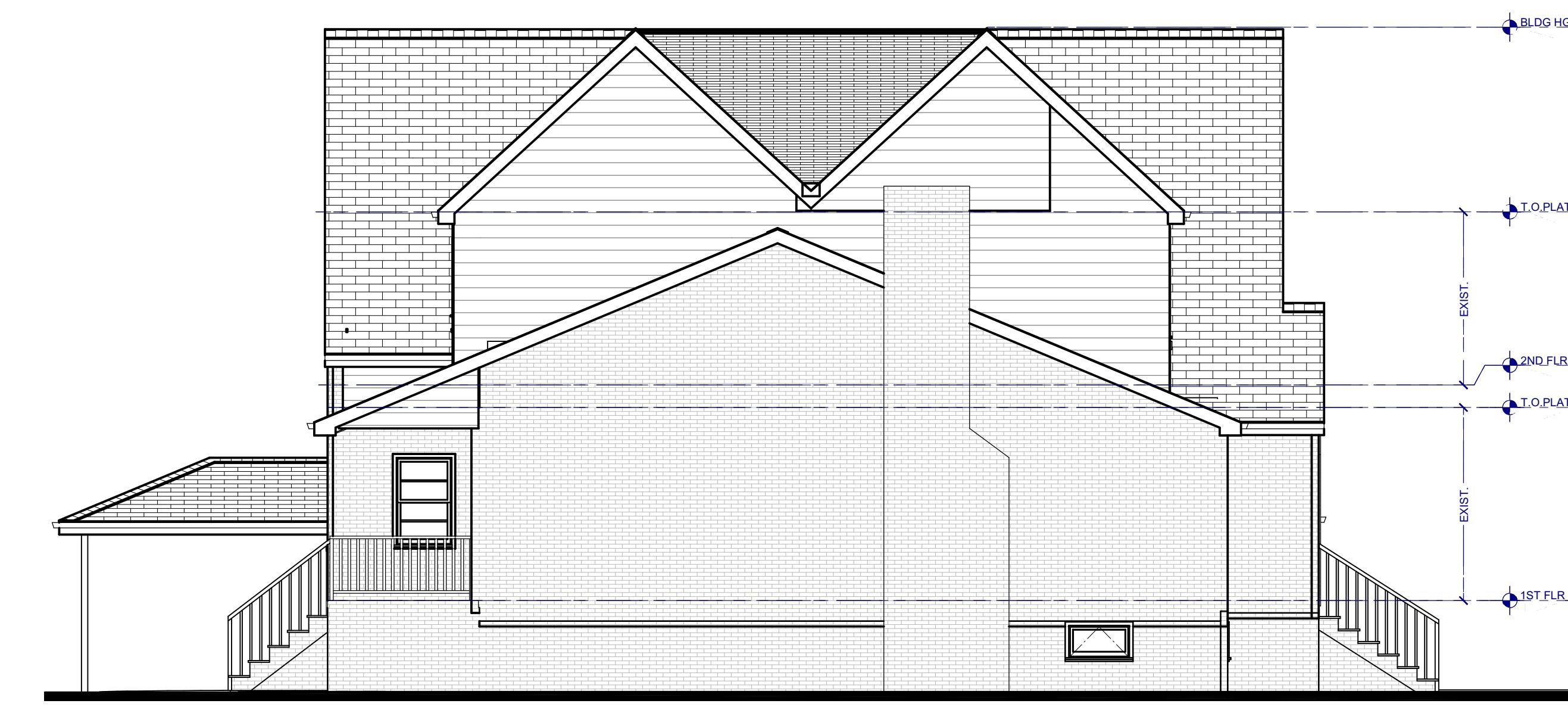


PROPOSED SECOND FLOOR PLAN
2 V-4
SCALE 3/16" = 1'-0"

2ND FLR FAR: 749.43 SF
ATTIC FLR FAR: 491.78 SF



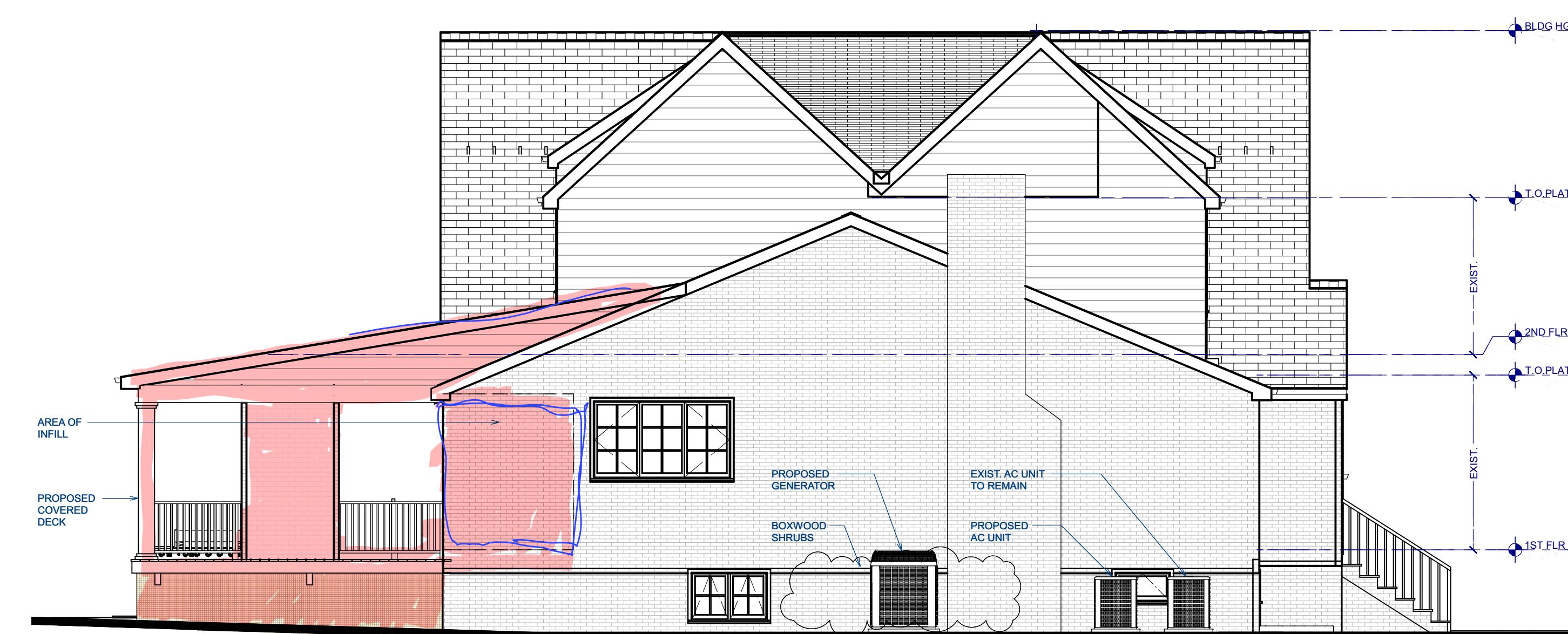
1
V-5
EXISTING REAR ELEVATION
SCALE 3/16" = 1'-0"



3
V-5
EXISTING LEFT ELEVATION
SCALE 3/16" = 1'-0"



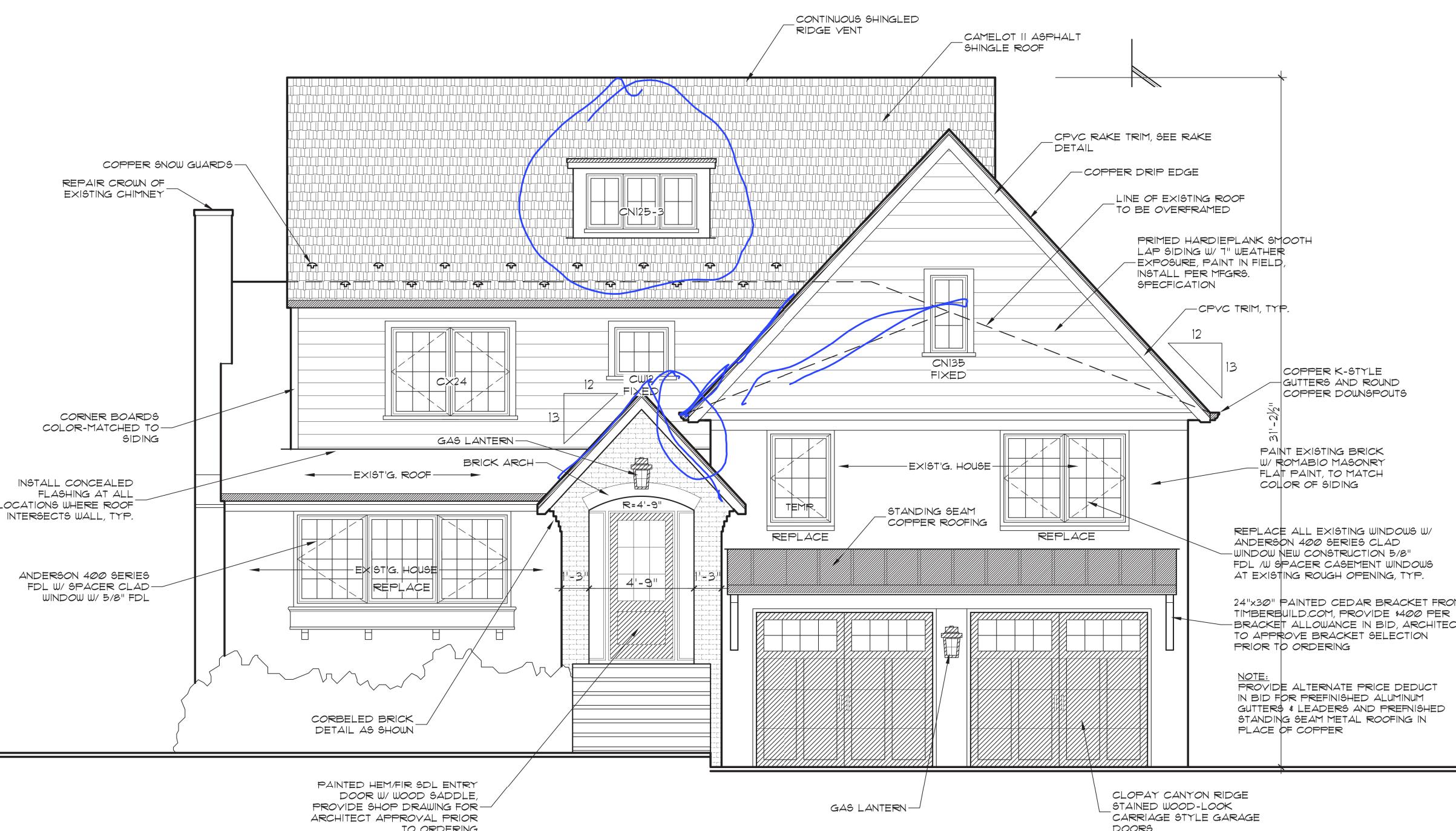
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V-5
PROPOSED REAR ELEVATION
SCALE 3/16" = 1'-0"



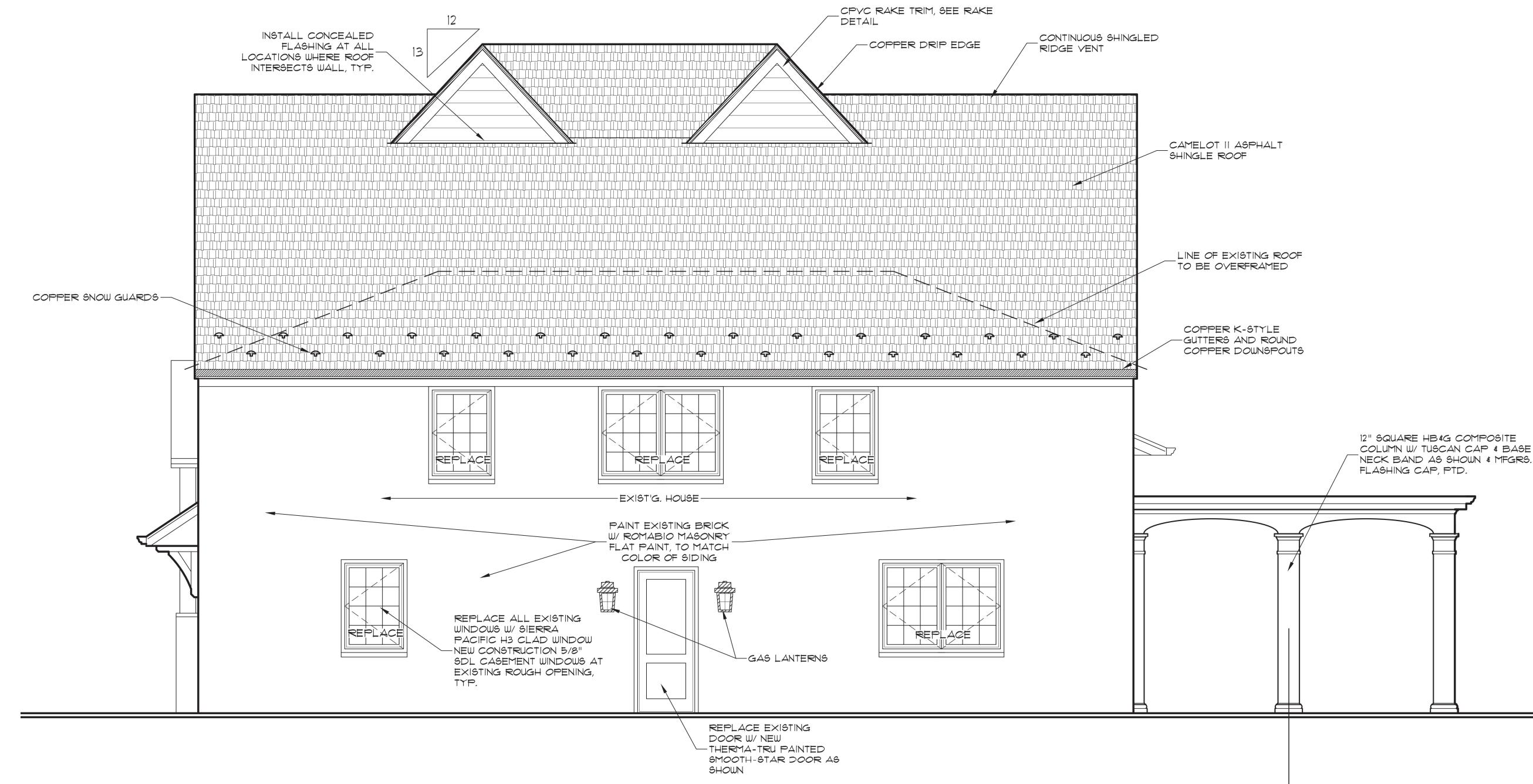
4
V-5
PROPOSED LEFT ELEVATION
SCALE 3/16" = 1'-0"

PROJECT:
PROPOSED ADDITION & RENOVATION FOR:
GLASSBERG RESIDENCE

TEL: 765-610-5597 Mrudula
EMAIL: mrudulaborse@gmail.com
BLOCK: 1402
190 KENT PL BLVD
LOT: 7
SUMMIT, NJ 07901



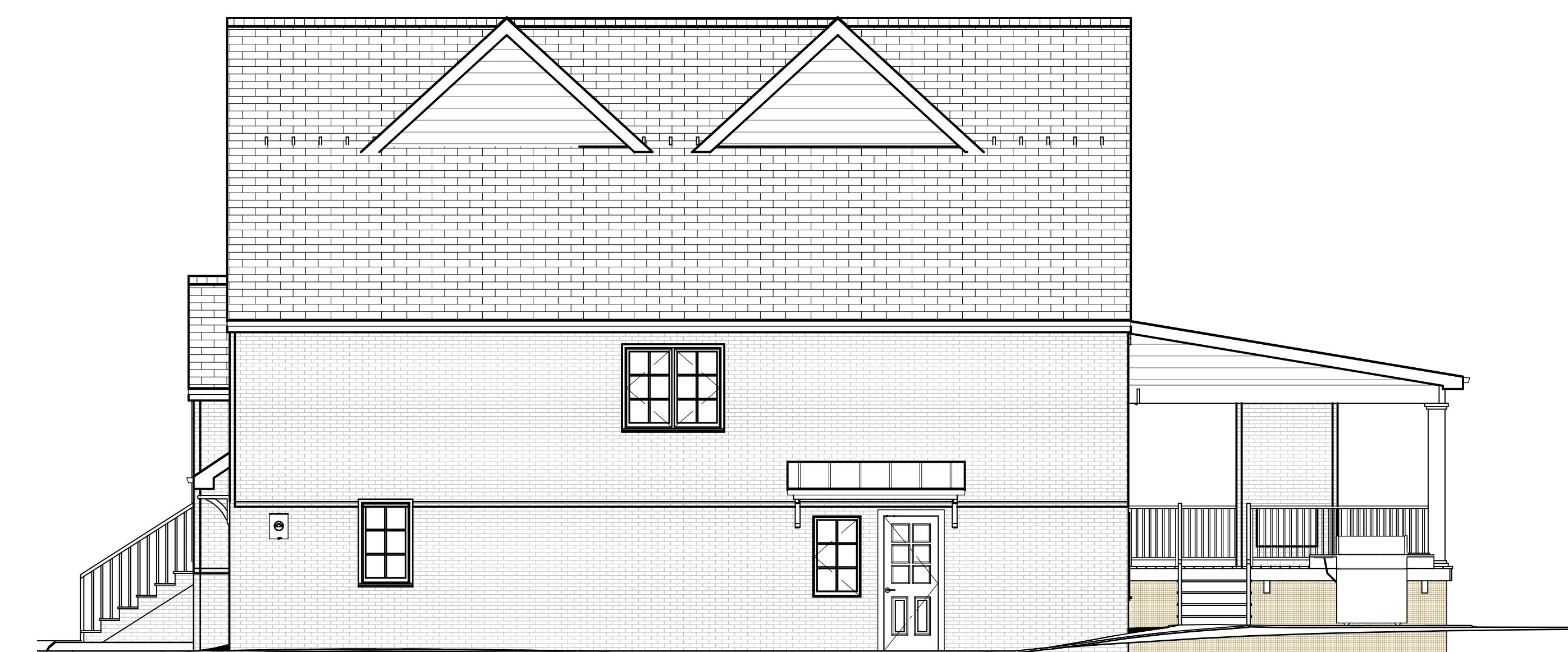
1
V-7 EXISTING FRONT ELEVATION
SCALE 3/16" = 1'-0"



2
V-7 EXISTING RIGHT ELEVATION
SCALE 3/16" = 1'-0"



2
V-7 PROPOSED FRONT ELEVATION
SCALE 3/16" = 1'-0"



4
V-7 PROPOSED RIGHT ELEVATION
SCALE 3/16" = 1'-0"

BOARD SECRETARY
DRAWN BY: DD
DATE: 11/3/2025
FOR VARIANCE:
FOR BID:
FOR PERMIT:
FOR CONST:
REVISIONS: DATE:
1
2

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NJ #15374
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V-7
SHEET #:
7 OF 7

PROJECT:
PROPOSED ADDITION & RENOVATION FOR:
GLASSBERG RESIDENCE
TEL: 765-610-5597 Mrudula
EMAIL: mrudulaborse@gmail.com
BLOCK: 1402
190 KENT PL BLVD
LOT: 7
SUMMIT, NJ 07901

SIGNATURES:

ZONING OFFICER

BOARD CHAIRMAN

BOARD SECRETARY
DRAWN BY: DD
DATE: 7/18/2025
FOR VARIANCE:
FOR BID:
FOR PERMIT:
FOR CONST:
REVISIONS: DATE:

[Signature]

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NJ #15374

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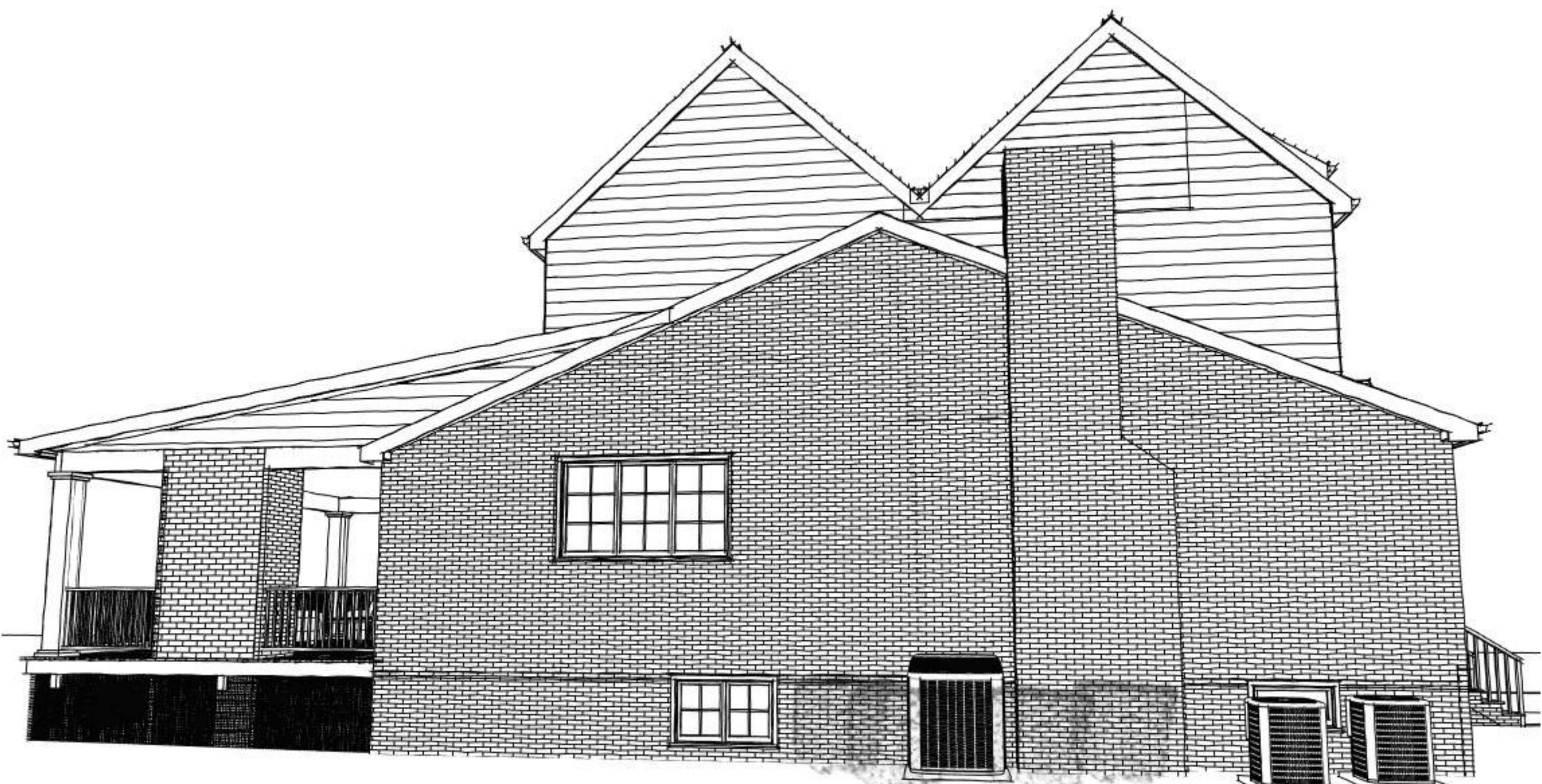
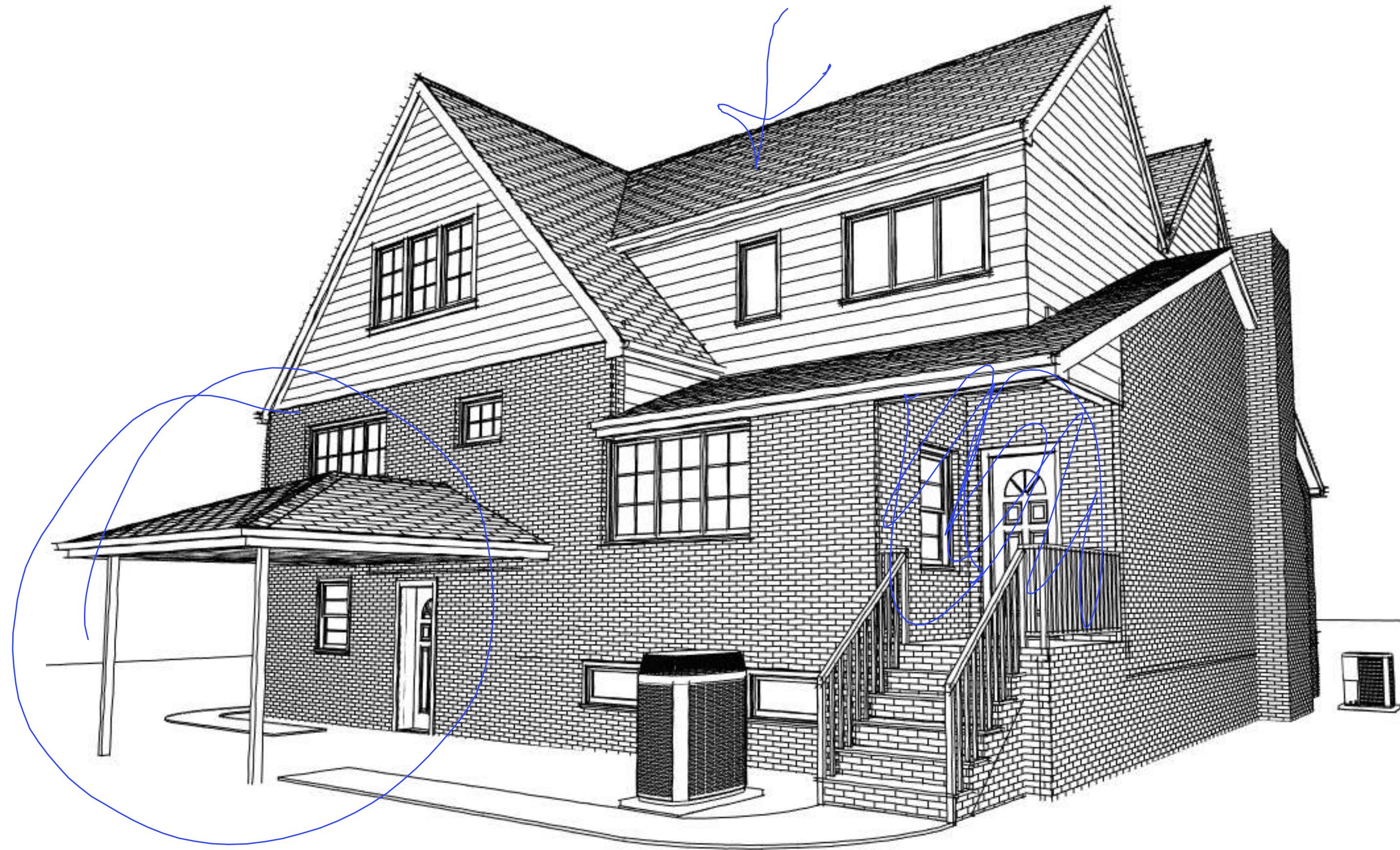
V-6

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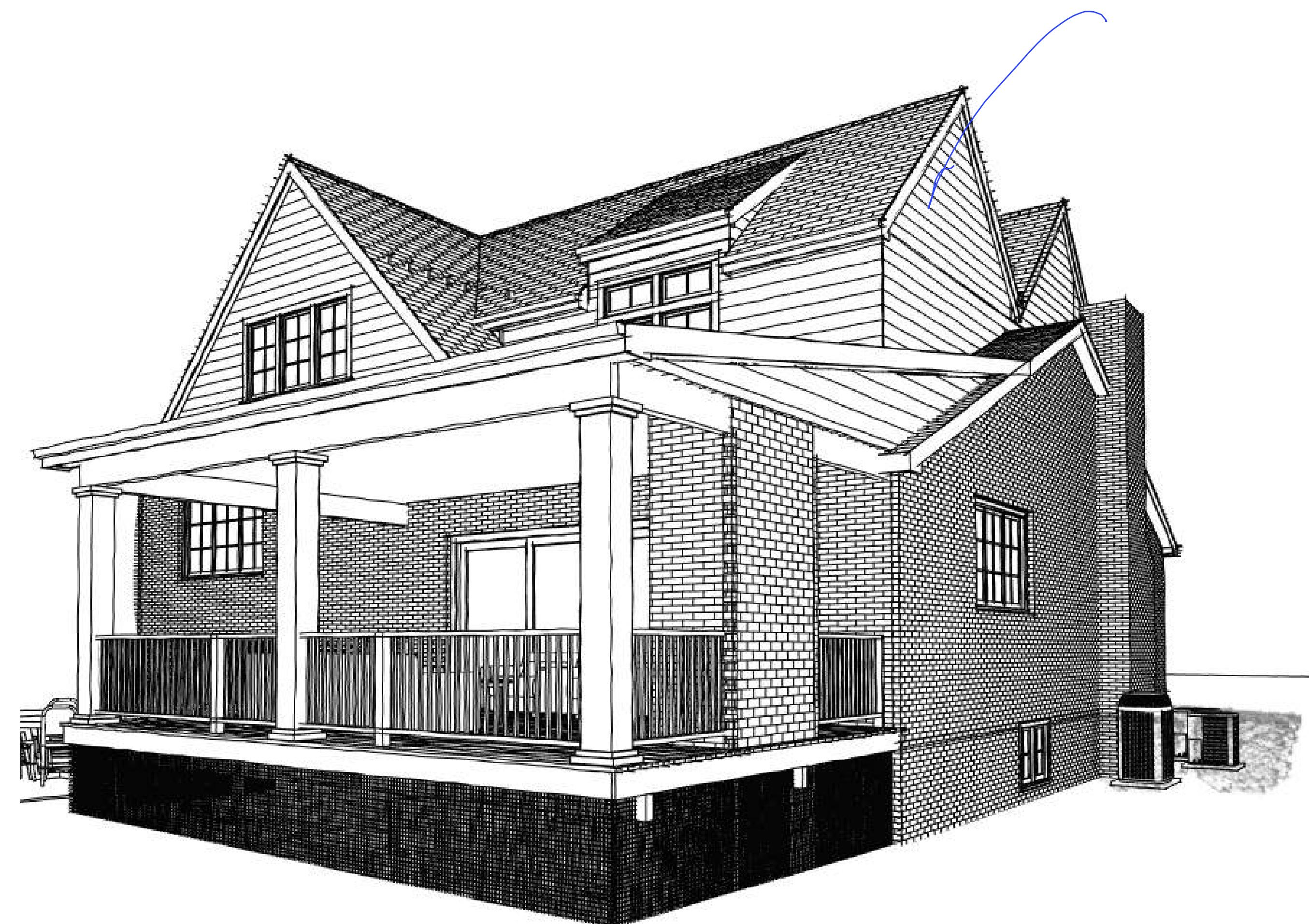
6 OF 6



1
V-6
EXISTING PERSPECTIVES
N.T.S.



2
V-6
PROPOSED PERSPECTIVES
N.T.S.

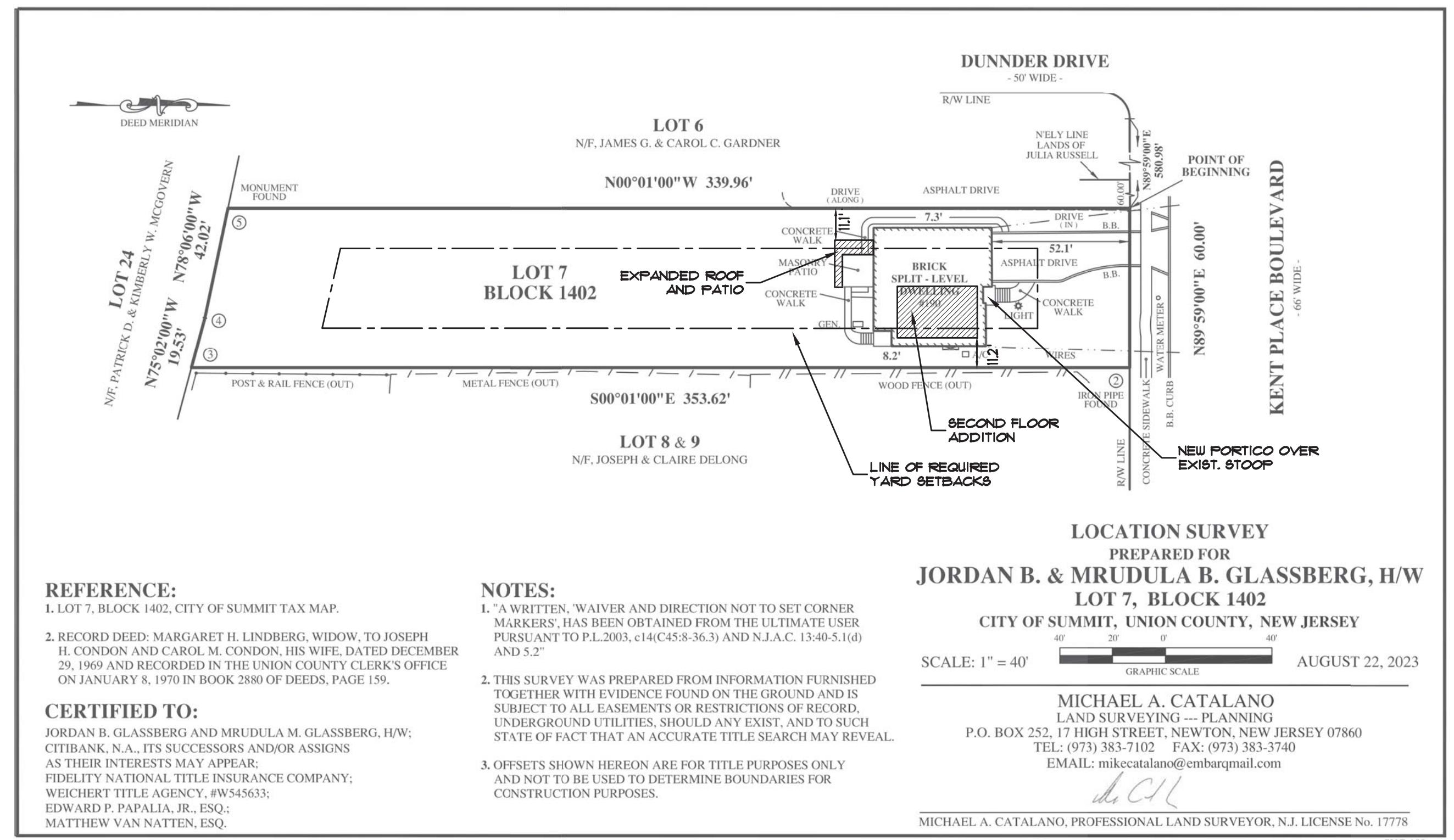


6 OF 6



OWNER & ADDRESS REPORT					
1402-7 190 KENT PLACE BLVD - GLASSBERG, JORDAN B & MRUDULA B					02/23/24 Page 1 of 1
BLOCK	LOT	QUL	CLA	PROPERTY OWNER	PROPERTY LOCATION
701	33		2	VANDONI, MATTEO & PARATORI, CARMEN	181 KENT PLACE BLVD SUMMIT, NJ 07901
701	34		2	BARRON, NANCY	185 KENT PLACE BLVD
701	35		2	BARRETT, CAMERON M & ELIZABETH C	189 KENT PLACE BLVD
701	36		2	SCHWEIDER, ERIC D. & STEPHANIE K.	195 KENT PLACE BLVD
701	37		2	GASCHER, KEVIN R. & LISA FRIES	199 KENT PLACE BLVD
1402	4		2	D'ALBRETTI, CLAUDIO P.	200 KENT PLACE BLVD
1402	5		2	WHITE, MARGRET C & STEPHANIE L.	196 KENT PLACE BLVD SUMMIT, NJ 07901
1402	6		2	GRAP, MATTHEW B & STACEY	192 KENT PLACE BLVD SUMMIT, NJ 07901
1402	9		2	DELONG, JOSEPH & CLARE	186 KENT PLACE BLVD SUMMIT, NJ 07901
1402	10		2	LAVIN, JOHN & SARA L.	184 KENT PLACE BLVD SUMMIT, NJ 07901
1402	11		2	HALSTED, MICHAEL J. & ELLEN K.	178 KENT PLACE BLVD SUMMIT, NJ 07901
1402	24		2	MC GOVERN, PATRICK D & KIMBERLY W.	142 COLONIAL RD SUMMIT, NJ 07901
1402	25		2	RYDEN, RICHARD W.	134 WEST END AVE
1402	26		2	HINER, MARY E.	132 WEST END AVENUE SUMMIT, NJ 07901
1402	27		2	FAY, BARBARA	128 WEST END AVE
1402	28		2	CHEONG, RAYMOND & OI, YAN	126 WEST END AVE
1402	29		2	ZHENGYIANG, MA & SIEW MEE YU	122 WEST END AVE SUMMIT, NJ 07901
1402	30		2	FESTEJO, BRIAN & ROSAN	118 WEST END AVE SUMMIT, NJ 07901

AREA CALCULATIONS:
AREA OF ADDITION: 576 SF
VOLUME OF ADDITION: 7,661 CF
AREA OF LARGEST FLOOR: 2,154 SF

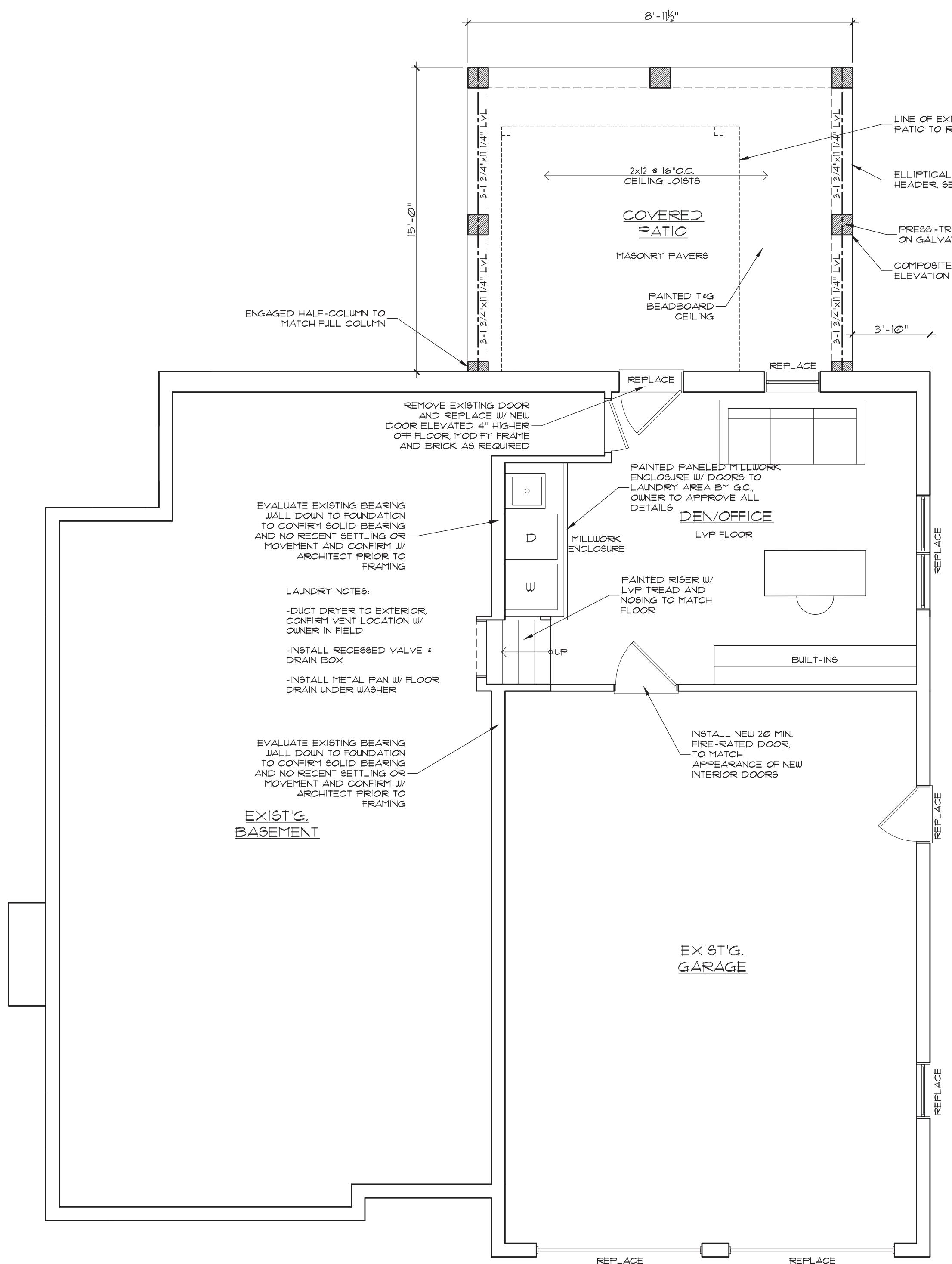


R-15 ZONING INFORMATION				
ITEM	REQUIRED	EXIST.G.	PROPOSED	NOTES
LOT AREA	15,000 SF MIN.	20,806 SF	20,806 SF	CONFORMS
LOT WIDTH	300' MIN.	600'	600'	EXIST. NON-CONFORMING
FRONT YARD	35.0' MIN.	52.1'	50.25'	CONFORMS
SIDE YARD	15.0' MIN.	8.2' / 17.3'	8.2' / 17.3'	11.2' / 11.1' PROPOSED ADDTN.
TOTAL SIDE YD.	35% MIN.	25.8%	25.8%	EXIST. NON-CONFORMING
REAR YARD	45.0' MIN.	237.0'	234.1'	CONFORMS
LOT COVG.	35% MAX.	3,492 SF / 16.8%	3,609 SF / 17.3%	CONFORMS
BUILDING COVG.	12% MAX.	2,009 SF / 9.7%	2,154 SF / 10.4%	CONFORMS
HEIGHT	35 1/2 MAX.	213 1/2'	31 1/2'	CONFORMS
F.A.R.	25% MAX.	2,189 SF / 10.5%	2,783 SF / 13.4%	CONFORMS

VARIANCE REQUIRED
VARIANCE REQUIRED

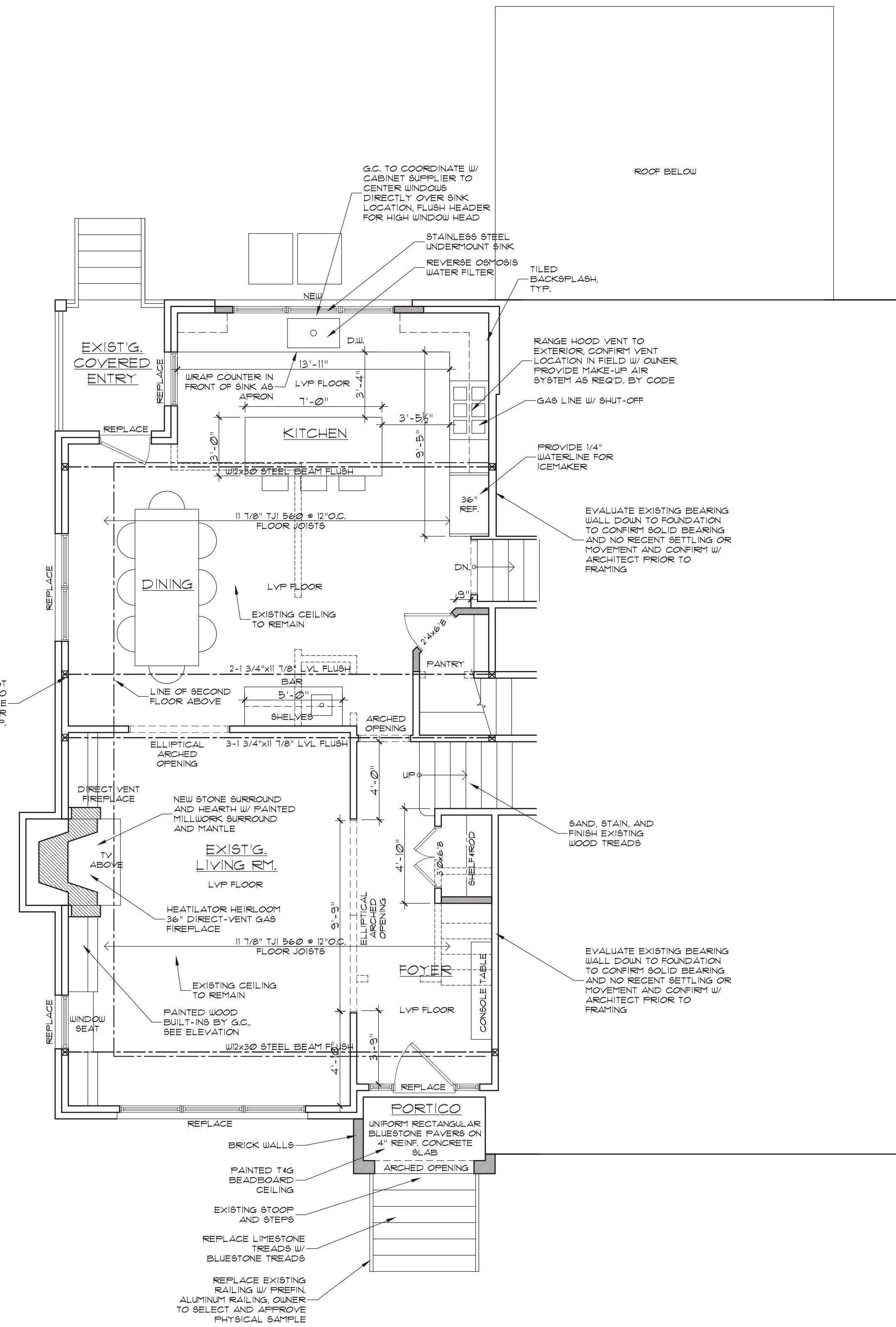
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SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

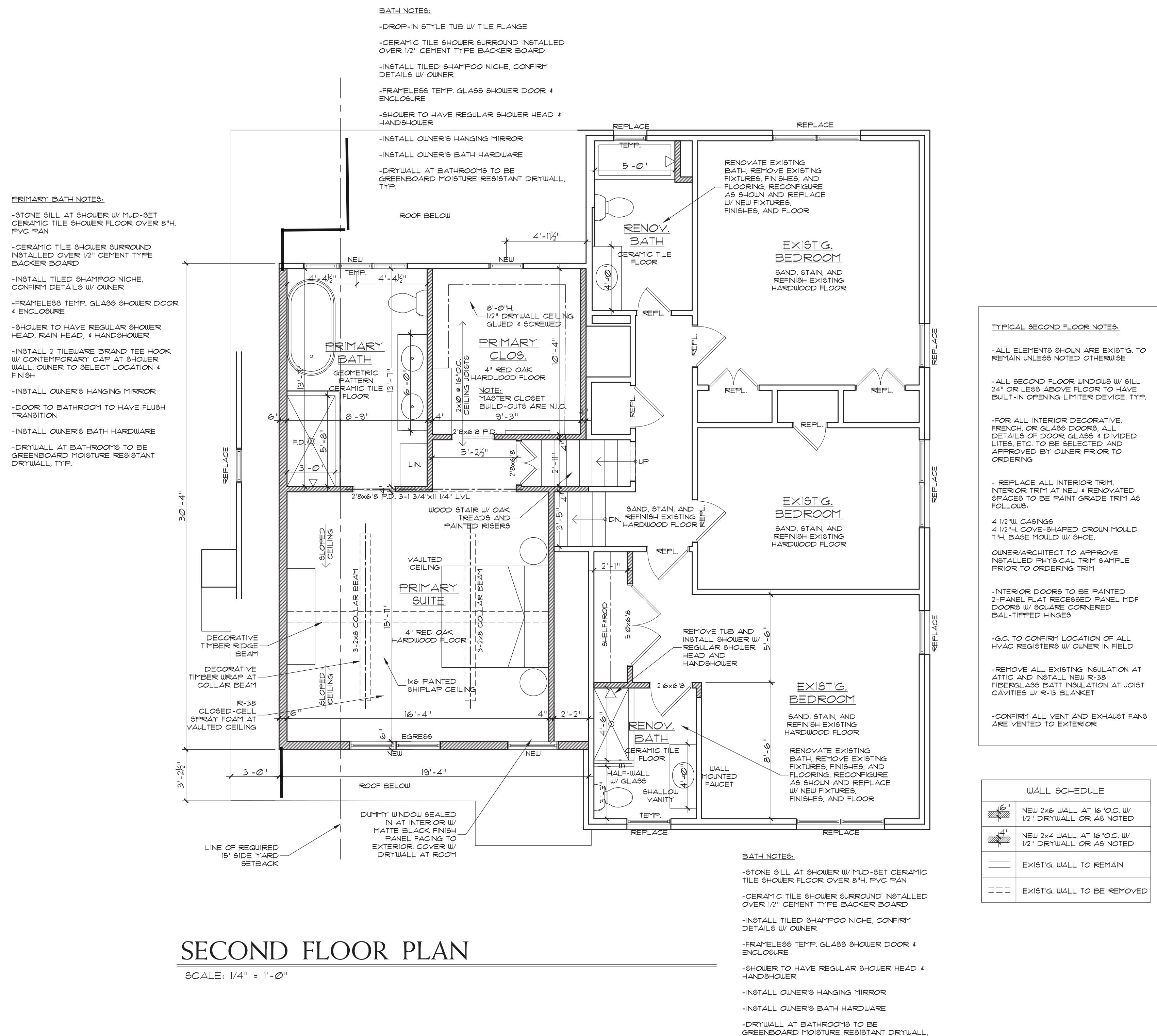
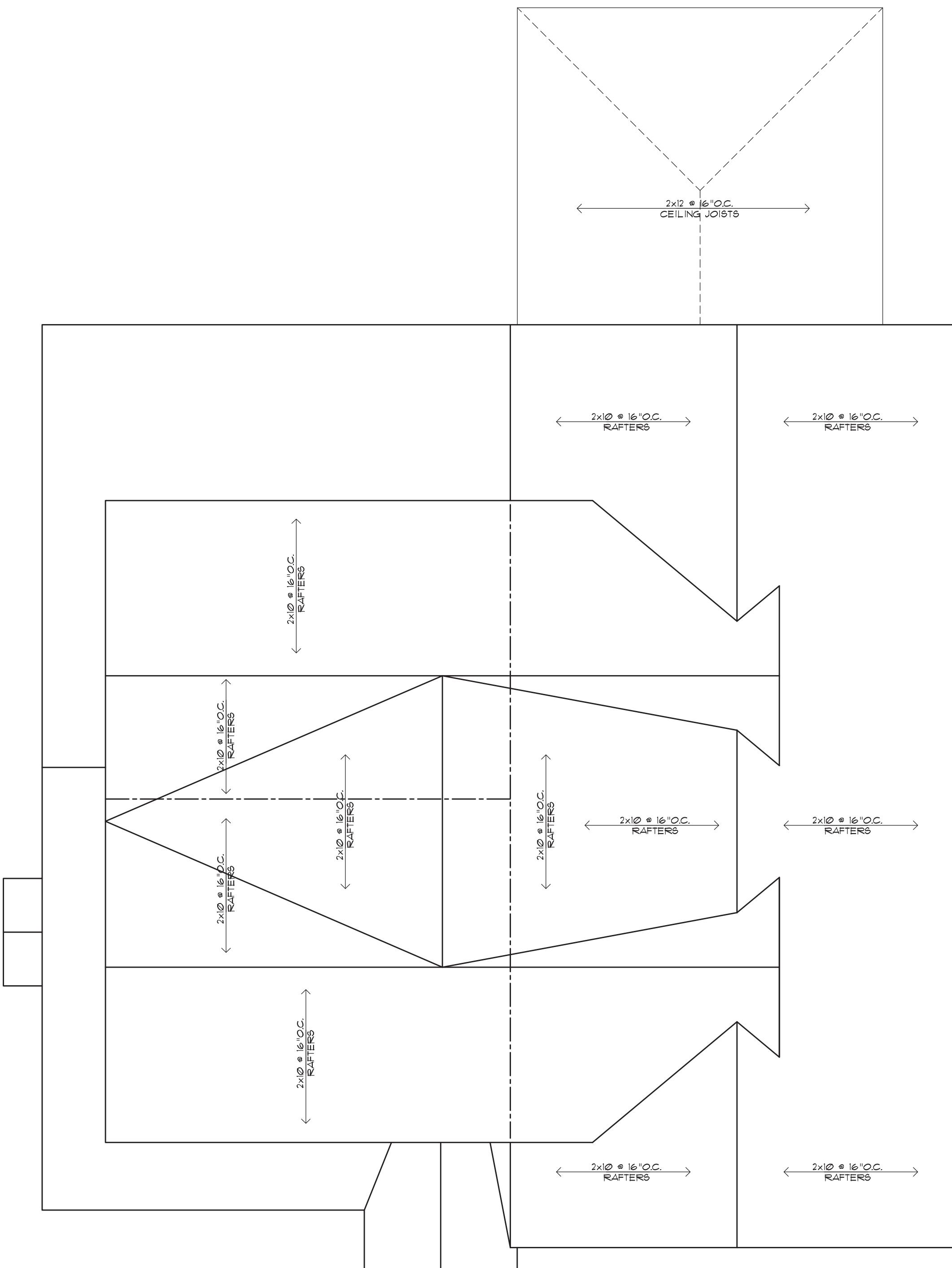
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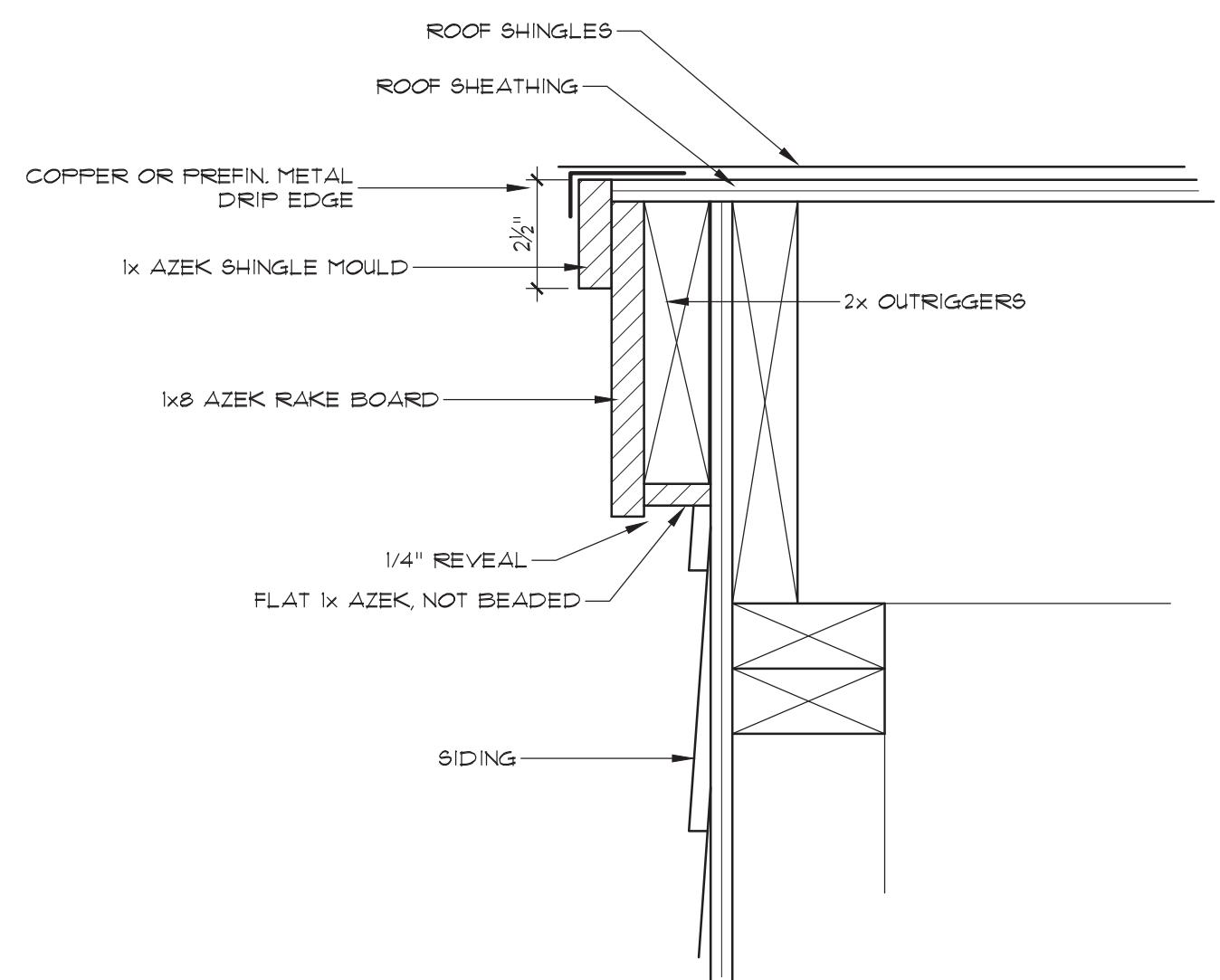


WALL SCHEDULE	
 6"	NEW 2x6 WALL AT 16" O.C. W/ 1/2" DRYWALL OR AS NOTED
 4"	NEW 2x4 WALL AT 16" O.C. W/ 1/2" DRYWALL OR AS NOTED
	EXIST'G. WALL TO REMAIN
	EXIST'G. WALL TO BE REMOVED

TYPICAL FIRST FLOOR NOTES:

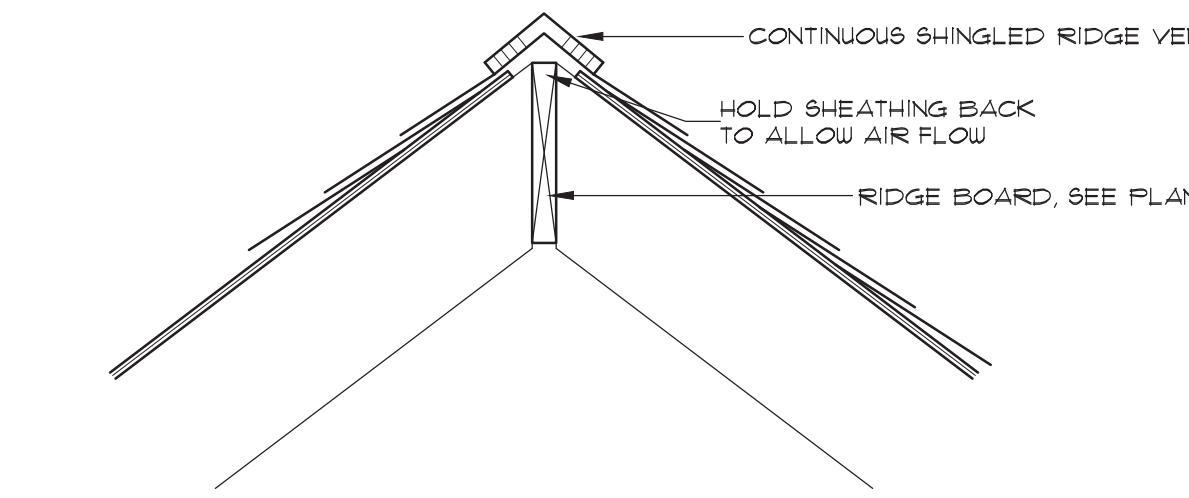
- ALL ELEMENTS SHOWN ARE EXIST'G. TO REMAIN UNLESS NOTED OTHERWISE
- CABINETS & COUNTERS AT KITCHEN ARE TO BE PURCHASED & INSTALLED BY OWNER UNDER SEPARATE CONTRACT, N.I.C.
- FOR ALL INTERIOR DECORATIVE, FRENCH, OR GLASS DOORS, ALL DETAILS OF DOOR, GLASS & DIVIDED LITES, ETC. TO BE SELECTED AND APPROVED BY OWNER PRIOR TO ORDERING
- REPLACE ALL INTERIOR TRIM, INTERIOR TRIM AT NEW & RENOVATED SPACES TO BE PAINT GRADE TRIM AS FOLLOWS:
 - 4 1/2"W. CASINGS
 - 4 1/2"H. COVE-SHAPED CROWN MOULD
 - 7"H. BASE MOULD W/ SHOE,OWNER/ARCHITECT TO APPROVE INSTALLED PHYSICAL TRIM SAMPLE PRIOR TO ORDERING TRIM
- INTERIOR DOORS TO BE PAINTED
- 2-PANEL FLAT RECESSED PANEL MDF DOORS W/ SQUARE CORNERED BAL-TIPPED HINGES
- G.C. TO CONFIRM LOCATION OF ALL HVAC REGISTERS W/ OWNER IN FIELD
- CONFIRM ALL VENT AND EXHAUST FANS ARE VENTED TO EXTERIOR





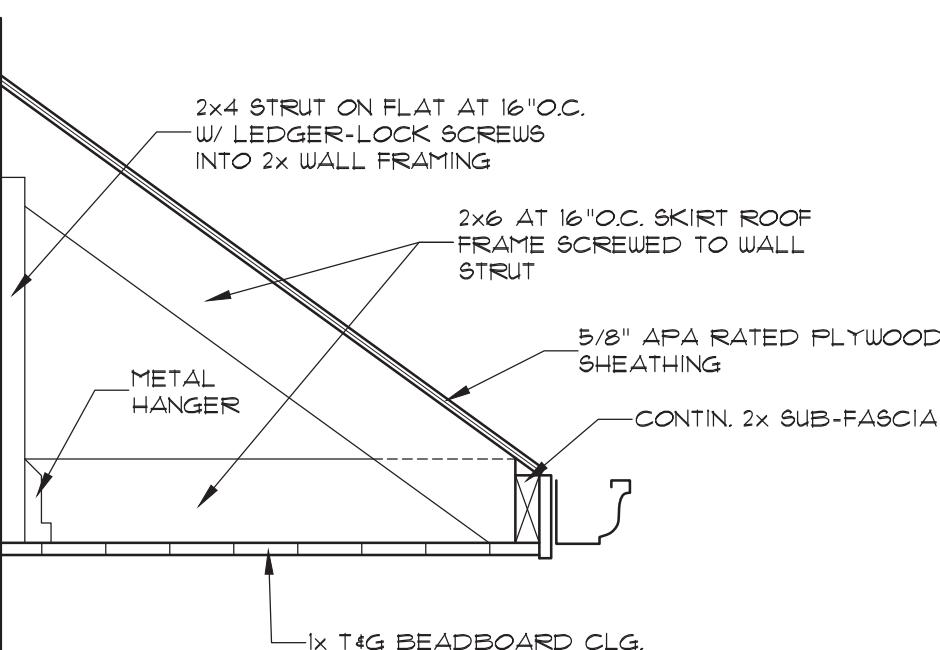
RAKE DETAIL

SCALE: 3" = 1'-0"



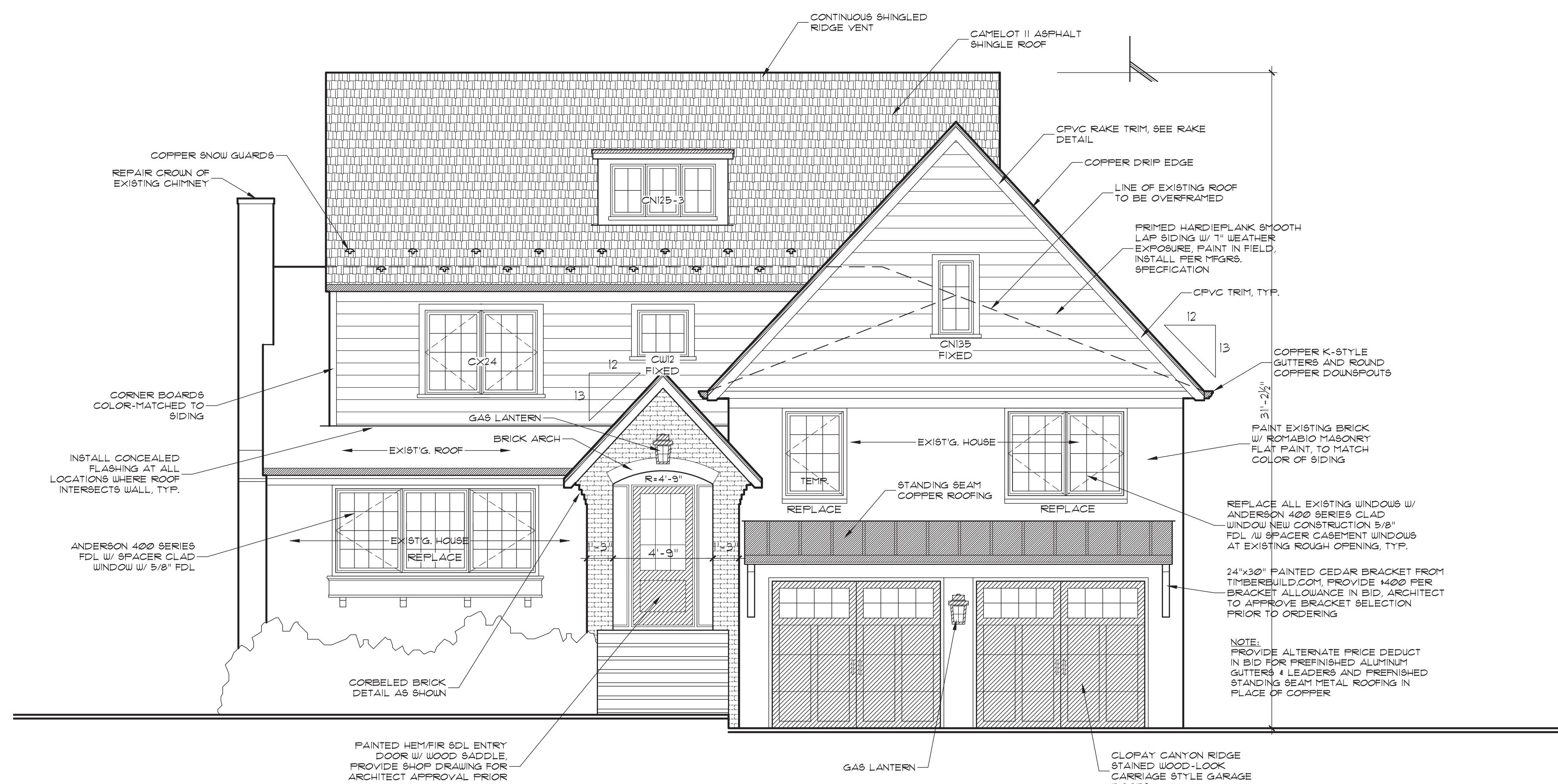
TYP. RIDGE DETAIL

SCALE: 1" = 1'-0"



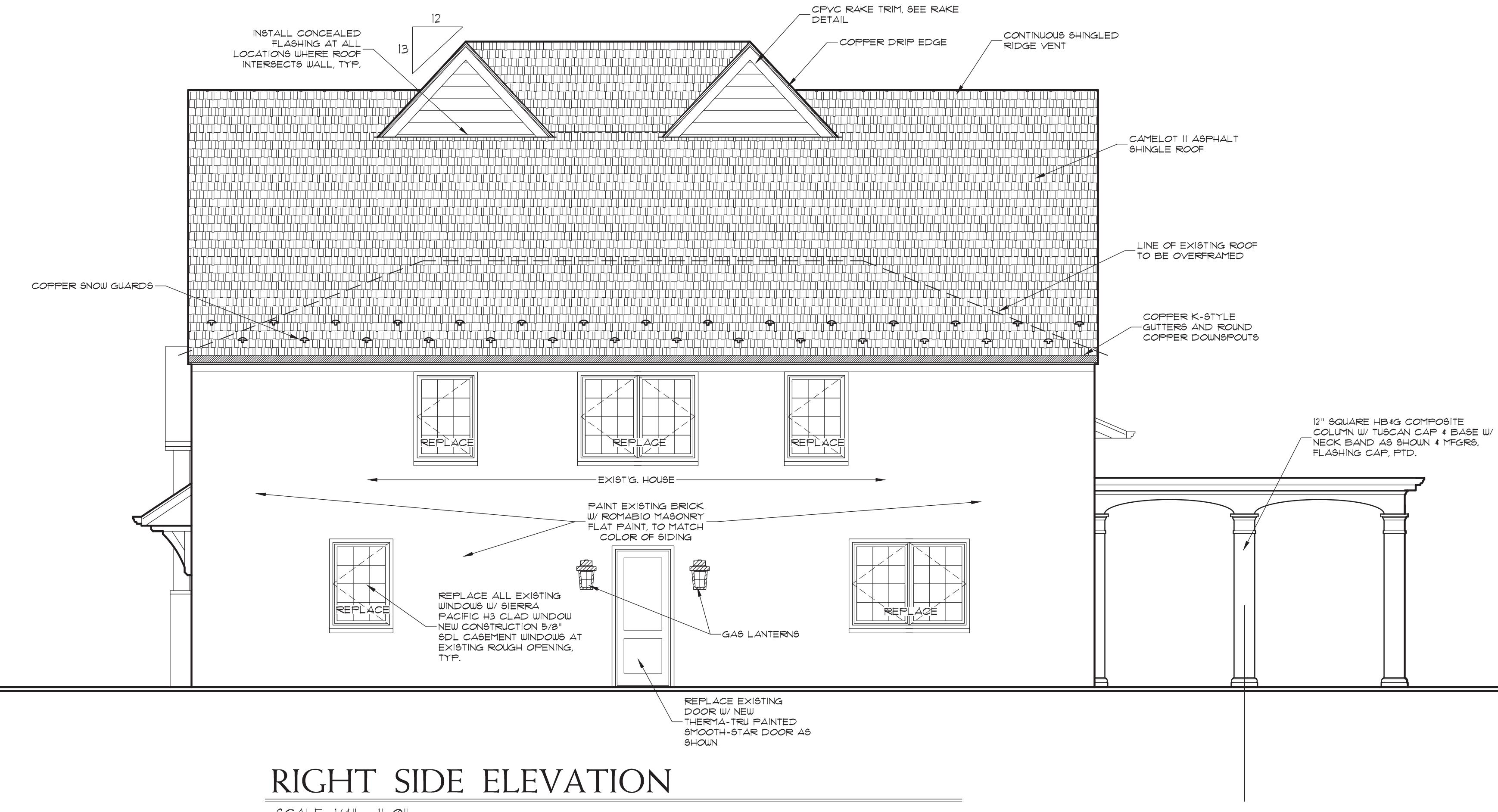
SKIRT ROOF DETAIL

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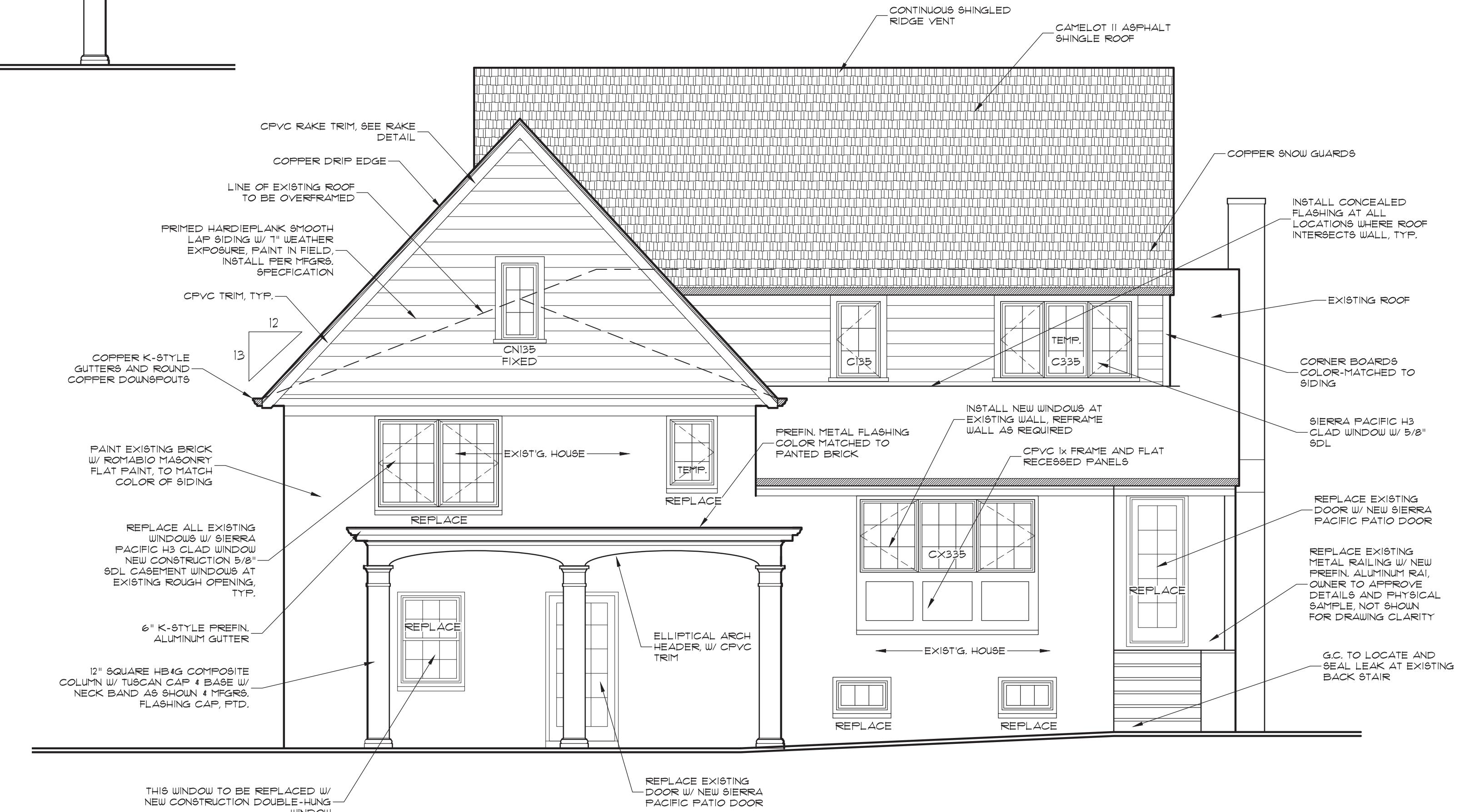
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



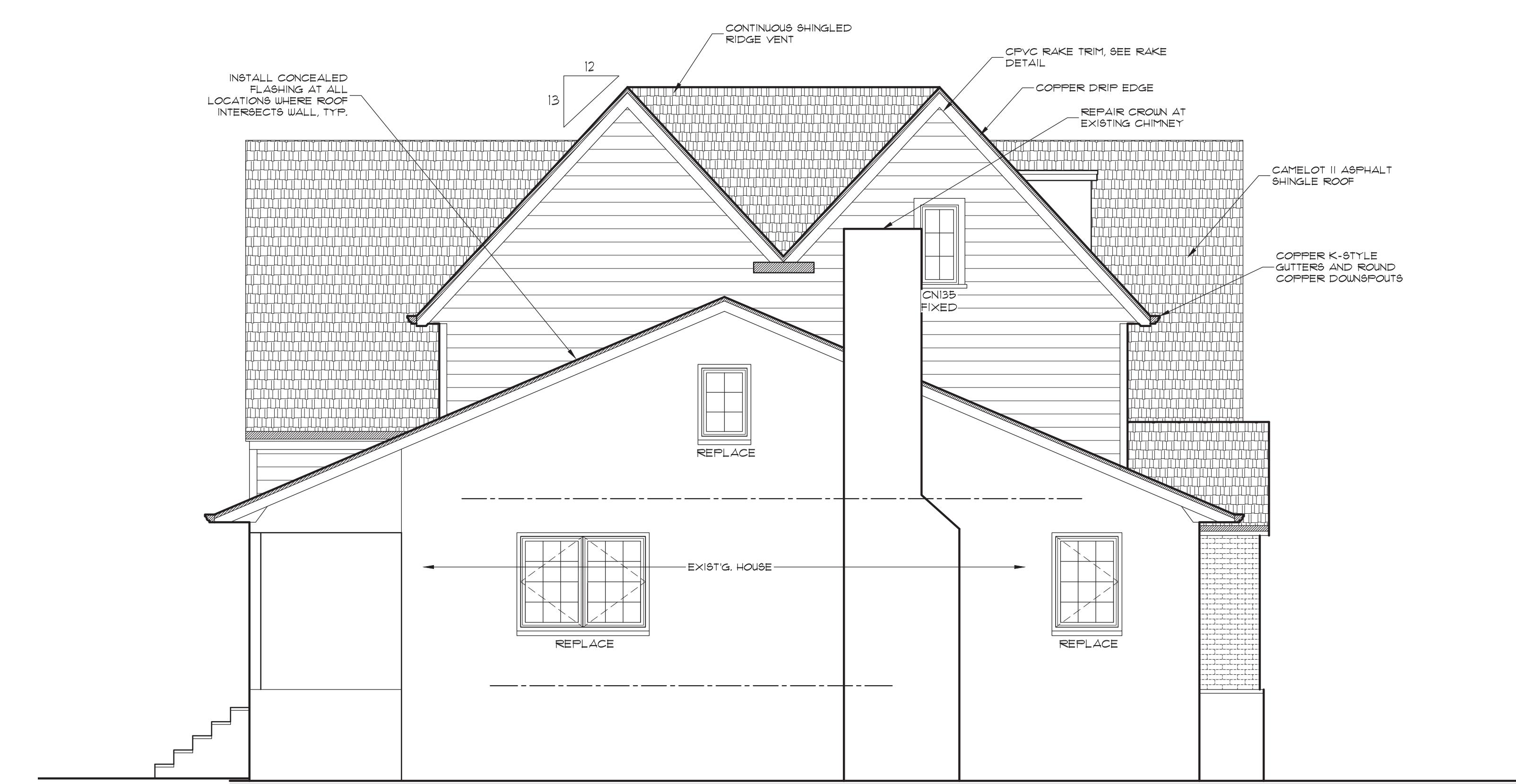
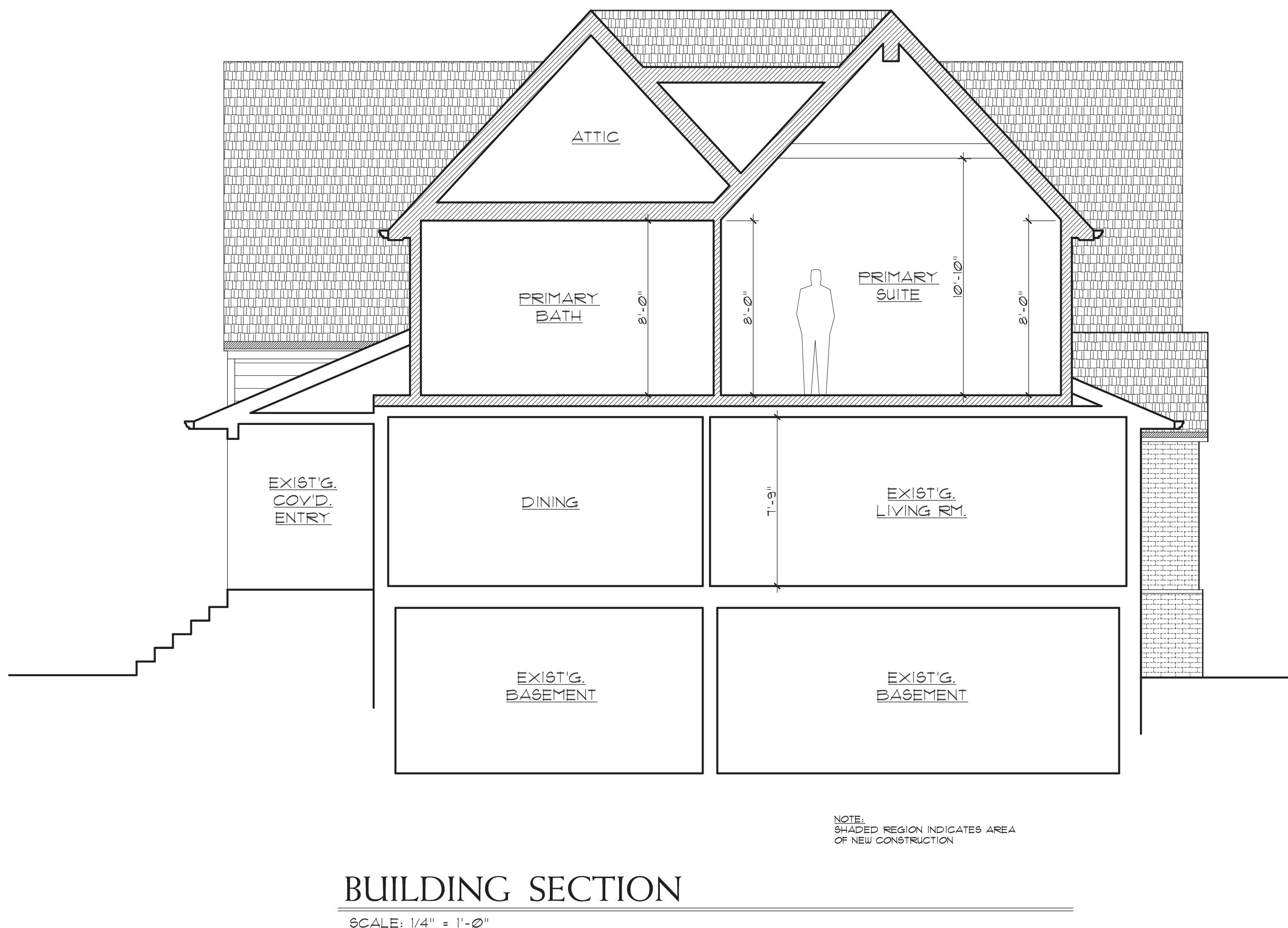
RIGHT SIDE ELEVATION

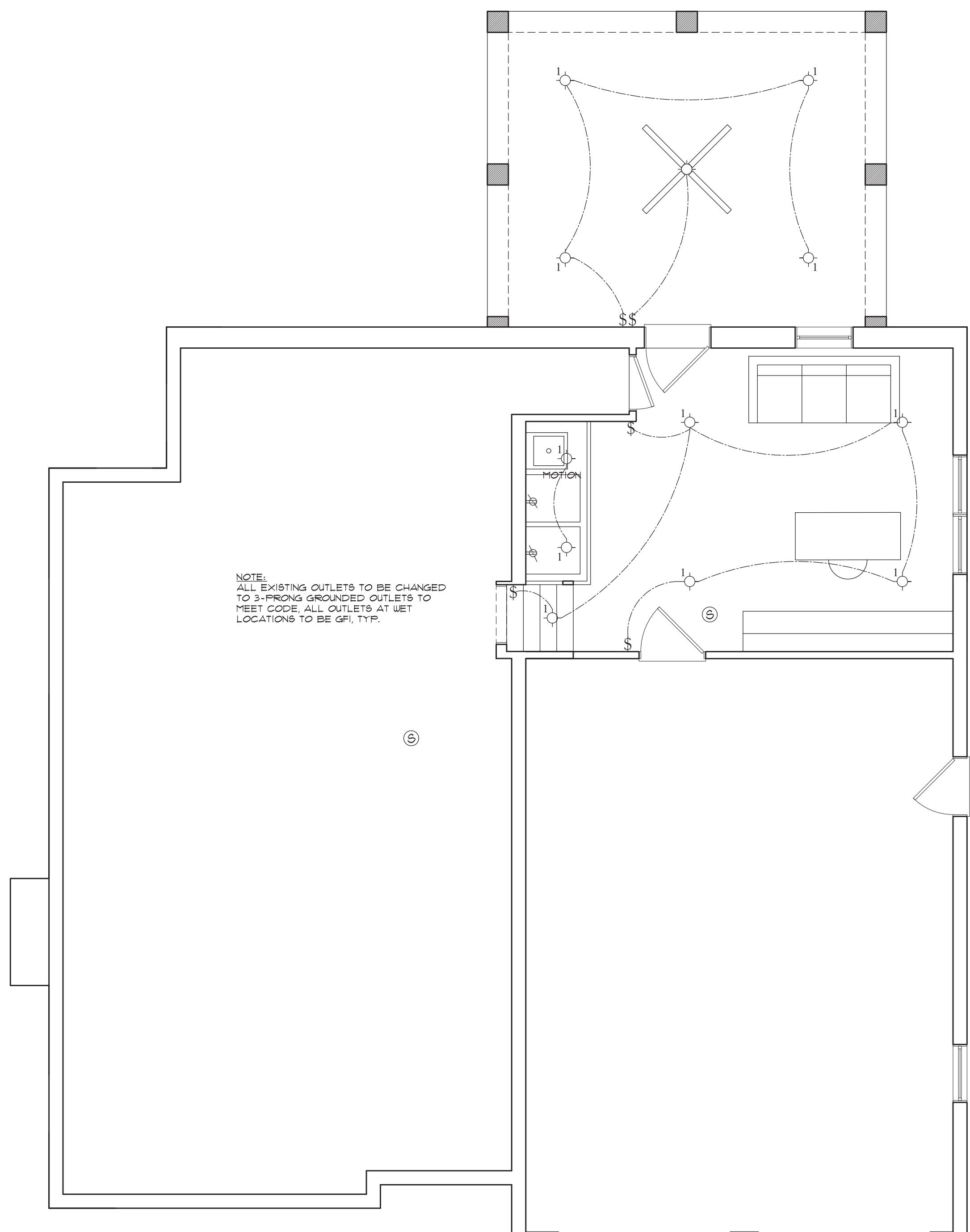
SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCAL E: 1/4" = 1'-0"

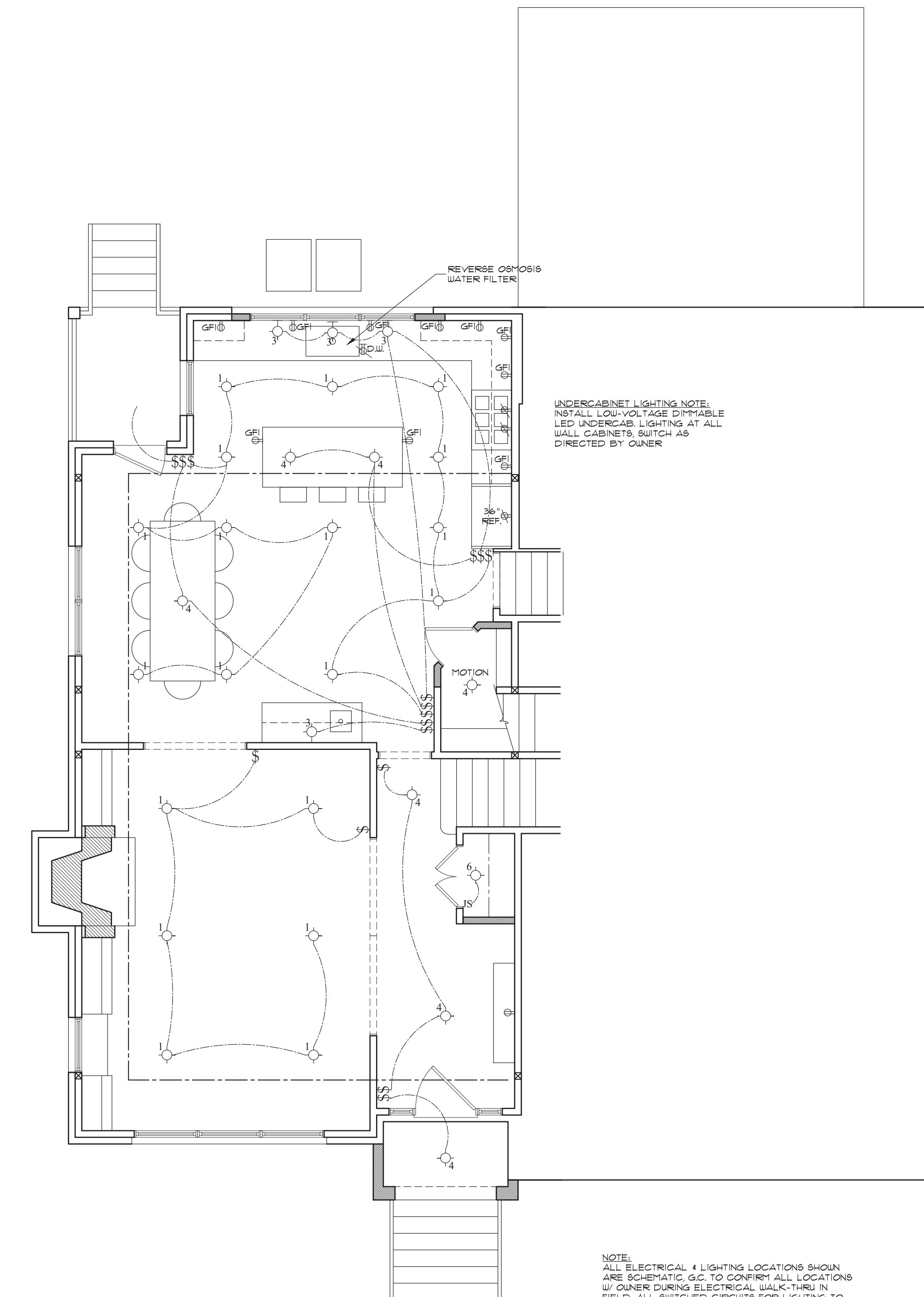




ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

NOTE:
ALL ELECTRICAL & LIGHTING LOCATIONS SHOWN ARE SCHEMATIC, G.C. TO CONFIRM ALL LOCATIONS W/ OWNER DURING ELECTRICAL WALK-THRU IN FIELD. ALL SWITCHES & OUTLETS TO BE DIMMABLE TO HAVE DIMMERS, OWNER TO SELECT STYLE & COLOR OF SWITCHES & OUTLETS, MOUNTING HEIGHTS OF SWITCHES & OUTLETS TO MATCH EXISTING, WHERE APPLICABLE

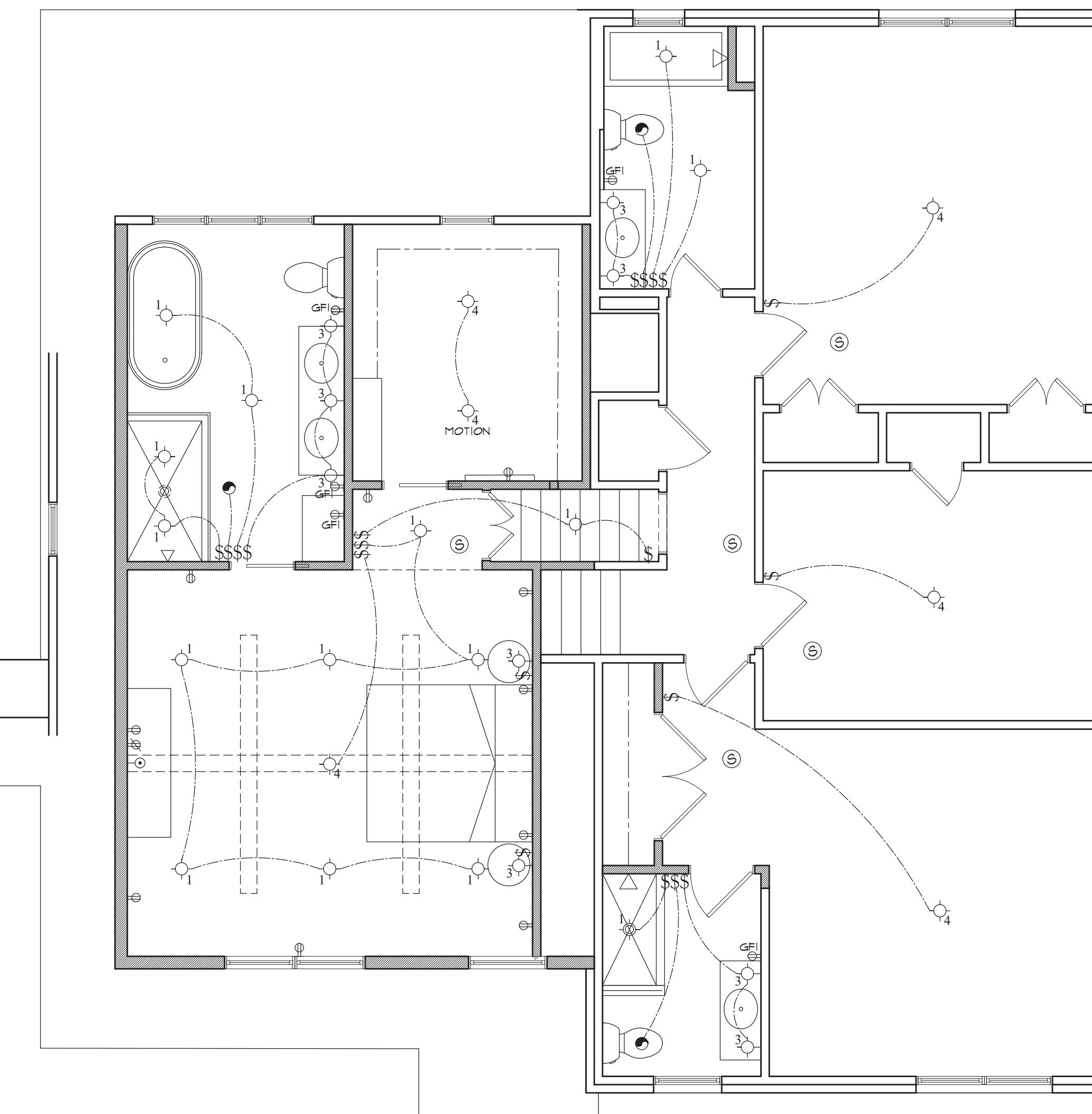


ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

NOTE:
ALL ELECTRICAL & LIGHTING LOCATIONS SHOWN ARE SCHEMATIC, G.C. TO CONFIRM ALL LOCATIONS W/ OWNER DURING ELECTRICAL WALK-THRU IN FIELD. ALL SWITCHES & OUTLETS TO BE DIMMABLE TO HAVE DIMMERS, OWNER TO SELECT STYLE & COLOR OF SWITCHES & OUTLETS, MOUNTING HEIGHTS OF SWITCHES & OUTLETS TO MATCH EXISTING, WHERE APPLICABLE

E L E C T R I C A L S C H E D U L E		
SYMBOL	MANUFACTURER	DESCRIPTION
⊖	...	Tamper-resistant Duplex receptacle.
⊖ _{GFI}	...	Tamper-resistant Ground fault interrupt type duplex receptacle.
⊖	...	Appliance/equipment connection.
⊖ _{WR}	...	Weather-resistant Duplex receptacle.
⊖	Hubbel	Flush floor receptacle w/ flush cover. Locate in field w/ owner.
\$...	Wall switch. 3 - way wall switch as required. (4 - way, 5 - way, etc.)
JS	...	Jamb switch.
①	Halo	RL4 Selectable Series 2700-5000K canless 4" LED dimmable 9W
②	Halo	RA4 Selectable Series 2700-5000K canless 4" LED w/ white adjustable Gimbal trim, dimmable, 10W, Very Wide Flood
③	...	Install owner's wall sconce. Rough box to be switch box, not 4" utility box.
④	...	Install owner's ceiling fixture.
⑤	Halo	H4 LED 4" downlight Tuscan Bronze reflector and trim ring w/ diffuse dome polymer lens 2700K.
⑥	...	LED strip light mounted over closet door inside closet.
⑦	...	Surface mounted 1'x4' flat panel LED 3000K, instant-on.
⑧	...	Low-voltage recessed LED puck light.
⑨	...	Porcelain socket, 100W. A-19
EX.	...	Existing light, relocate as required.
●	Panasonic	Model #FV-11VQ2, 110 cfm exhaust fan, duct to exterior w/ backdraft damper
⑩	...	110V, hard-wired interconnected smoke detector, per code.
⑪	...	Carbon monoxide detector, per code.
⑫	...	Cat 6a ethernet.
⑬	...	TV connection, provide HDMI, Cat 6a ethernet, and other required wiring, confirm w/ owner. All wiring to be concealed.
⑭ ^{CF}	...	Install owners ceiling fan.
⑮	Cooper	Cooper twin 100W floodlight with LED bulb. Connect to auto-timer switch w/ manual override, switch as directed by owner.

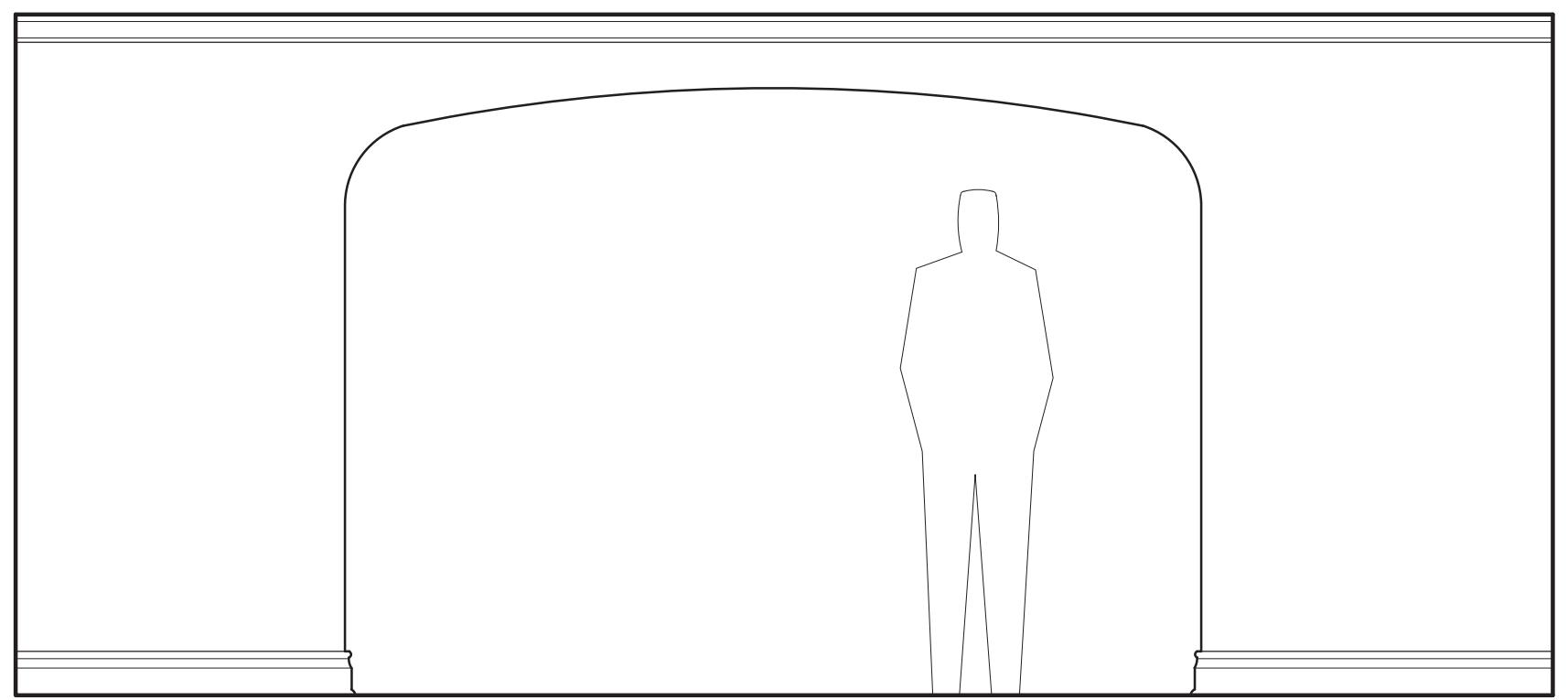


NOTE:
ALL EXISTING OUTLETS TO BE CHANGED
TO 3-PRONG GROUNDED OUTLETS TO
MEET CODE. ALL OUTLETS AT WET
LOCATIONS TO BE GFI, TYP.

NOTE:
ALL ELECTRICAL & LIGHTING LOCATIONS SHOWN
ARE SCHEMATIC, G.C. TO CONFIRM ALL LOCATIONS
W/ OWNER DURING ELECTRICAL WALK-THRU IN
FIELD. ALL SURFACE CEILING & LIGHTING TO
HAVE DIMMERS UNLESS TO SELECT STYLING &
COLOR OF SWITCHES & OUTLETS. MOUNTING
HEIGHTS OF SWITCHES & OUTLETS TO MATCH
EXISTING, WHERE APPLICABLE.

ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



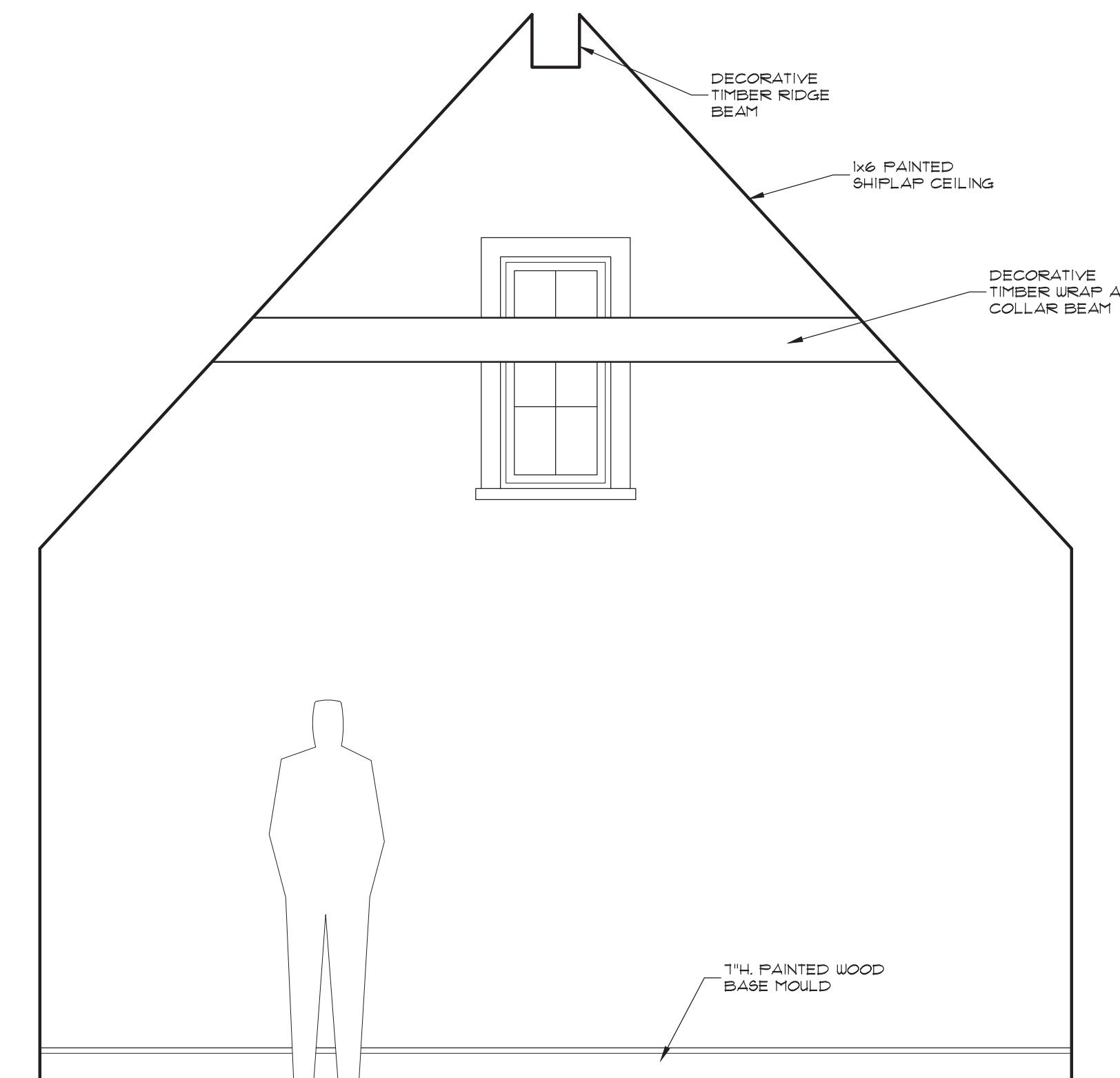
ELEVATION @ FOYER

SCALE: $1/2'' = 1'-0''$



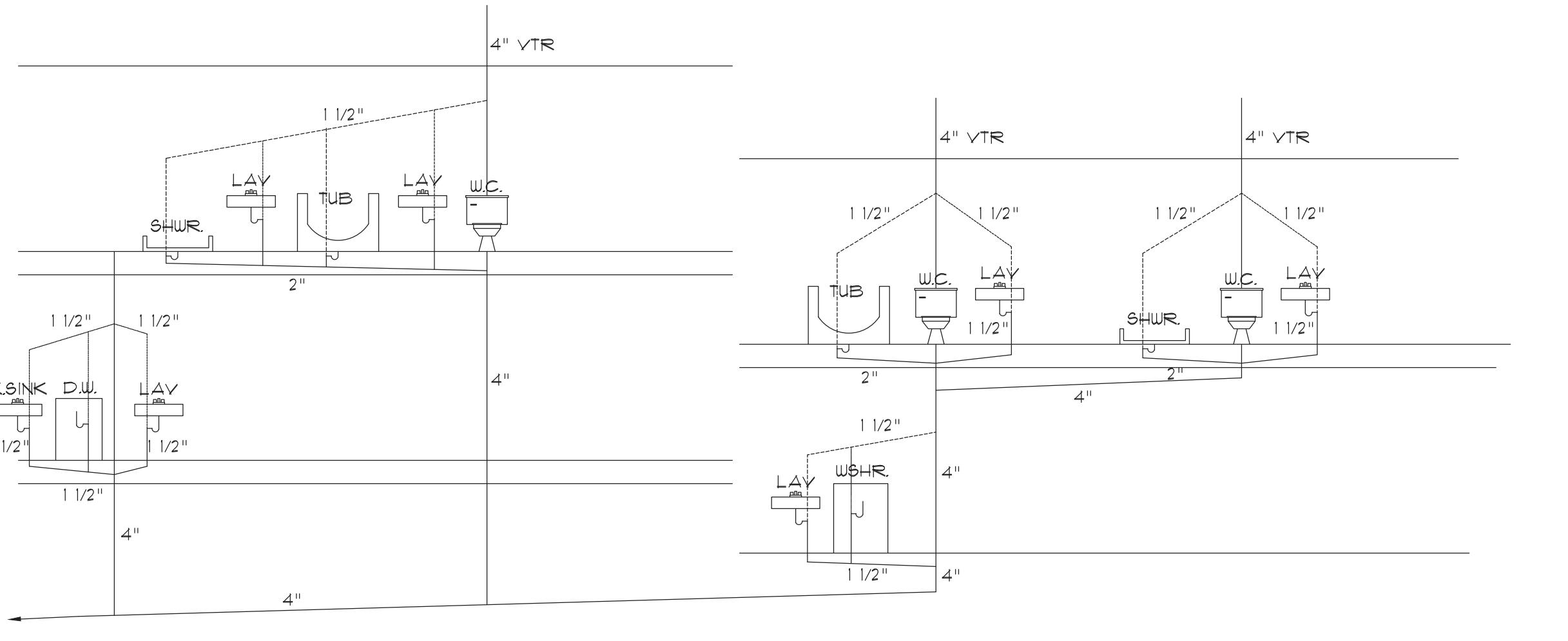
ELEVATION @ LIVING ROOM

SCALE: $1/2'' = 1'-0''$



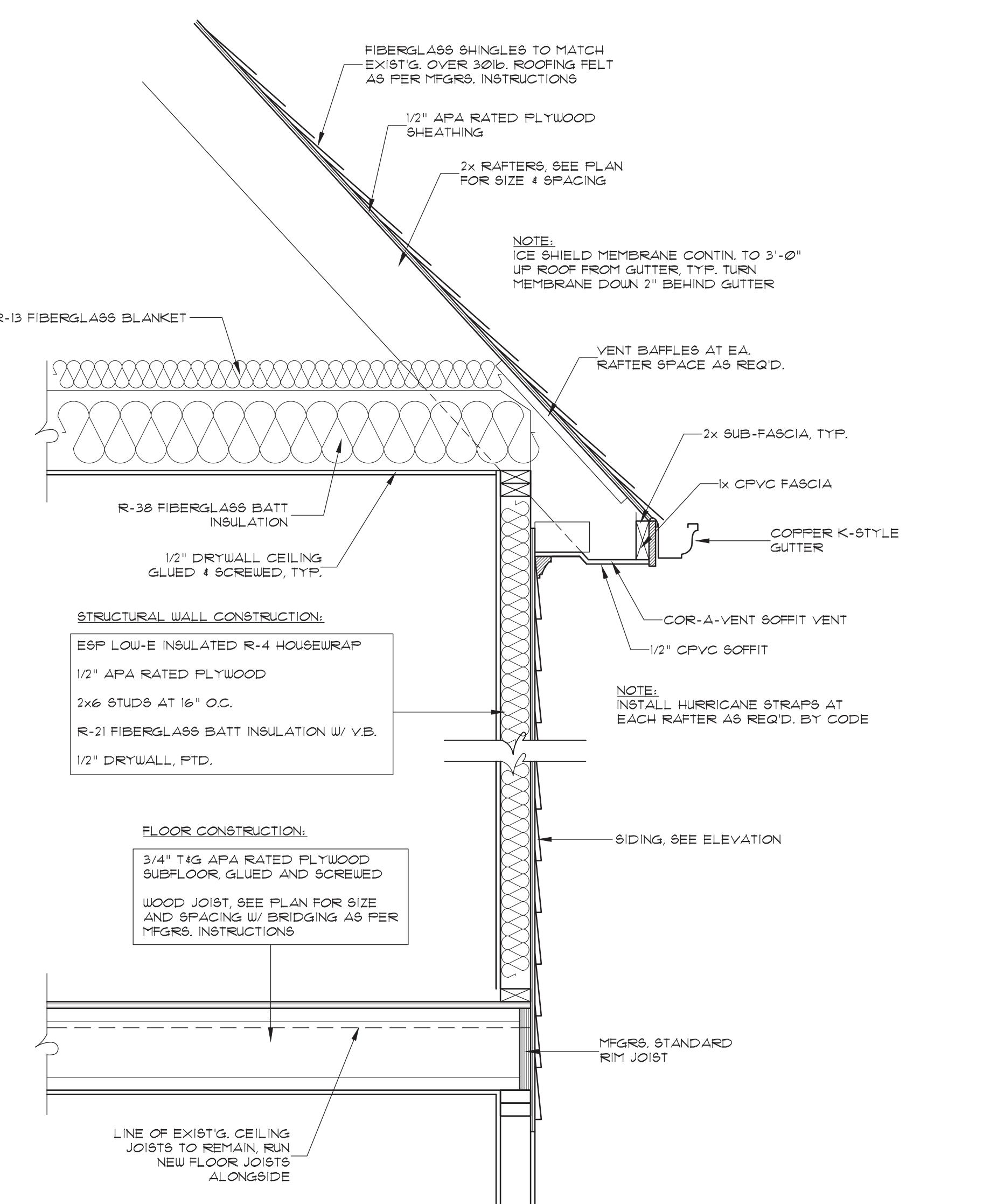
ELEVATION @ PRIMARY SUITE

SCALE: $1/2'' = 1'-0''$



PLUMBING RISER DIAGRAM

NOT TO SCALE



WALL SECTION @ 2nd FLOOR ADDITION

SCALE: 1" = 1'-0"

General Notes:

1. The work has been designed per IRC building code, New Jersey 2021 edition. Construction type is 5B, Use Group is R5. All work shall conform to all applicable local and state ordinances.
2. The Owner and the Contractor shall hold harmless the Architect from and against all claims, damages, losses and expenses, including attorney's fees, arising out of or resulting from any deviation from the approved permit set and or negligent or faulty work by the Contractor.
3. Drawings are not to be scaled. The Architect is to be notified, prior to construction, of any discrepancies between the drawings and actual field conditions. Dimensions are based on nominal framing and masonry sizes.
4. For any proposed changes from the approved permit set the G.C. will provide a written change order to the Owner that includes a description of the revised work and clearly outlines the change to pricing and timing. The changes will not be executed or materials purchased until the Owner has provided a signed and dated copy of the change order to the G.C.
5. All materials and components shall be installed per the manufacturer's specifications and written instructions.
6. All framing lumber shall have a min. fiber stress as follows: Douglas fir larch, #2, Fb=1450, E=1,700,000.
7. If pressure treated lumber is type ACQ or CBA instead of type CCA, all fasteners contacting lumber are to be stainless steel, metal hangers and post bases are to be Simpson "ZMAX" or USP "Triple Zinc" and flashing is to be copper not aluminum.
8. All concrete to be min. 3000 psi.
9. Footing size based on allowable soil bearing pressure of 3500 psf. Contractor to verify actual soil bearing capacity and notify Architect if actual is less than 3500 psf. All footings to bear on virgin soil min. 42" below finished grade and 12" below existing grade.
10. All fill at foundation excavation is to be compacted to min. 95% dry density.
11. All concrete masonry units (CMU) are to be loadbearing, grade N, type I (ASTM C90 & C145) with type M mortar (ASTM C270).
12. At foundation inside corners, provide a vertical continuous #4 rebar and fill cell solid with mortar. At foundation beam pockets provide 16" wide x 16" deep pier, fill concrete block below solid with grout.
13. Standard window and door header to be 2x10 unless noted otherwise. All structural headers and beams to be framed flush unless shown or approved by Architect to be otherwise.
14. Structural design loads (psf):
 - Floors - 40 LL, 15 DL, 55 TL
 - Ceilings - 20 LL, 10 DL, 30 TL
 - Roof - 35 LL, 15 DL, 50 TL
 - Deck/Balcony - 60 LL, 15 DL, 75 TL
 - Wind - 105 mph
 - Ground Snow Load - 35 TL
15. Verify actual stair dimensions, clearances and code requirements and coordinate framing as required. Provide min. 36" clear width with handrails projecting a max. of 3 1/2" into clear width and 6'-8" min. head clearance. Maximum riser height to be 7 3/4" and minimum tread depth to be 10" with nosing, 11" without nosing. The maximum variation of tread and riser size is 3/16" between adjacent treads or risers and 3/8" in any single flight.
16. All applicable code restrictions pertaining to guards, handrails and safety glass are to be conformed with and are to be considered a part of these plans. Handrails shall be provided for stairs of 4 or more risers and shall be between 34" and 38" above the leading edge of the stairs to be continuous for the full length of the stairs along one side min. Handrails shall be max. 2 5/8" in cross-section and shall provide min. 1 1/2" clearance to wall. Guardrails shall be provided at porches, balconies, open stairs and raised floor areas located 30" above grade or floor below and be a min. of 36" high and prohibit the passage of a 4" sphere.
17. Provide and coordinate all required continuous, blind and step flashing, waterproofing, etc. to ensure a tight, water-proof building. Provide ice shield underlayment at eaves and valleys.
18. All unit numbers and glazing designations for windows and exterior glazed doors refer to Andersen 400 Series vinyl clad units w/ 5/8" FDL simulated divided lites with spacers, with insulated low-E glass, as shown. See elevations for exterior casing detail and trim notes. Double hung windows are to have blank face sash rails, not routed. Style and finish of interior hardware at doors and windows to be selected by Owner prior to ordering. All windows and exterior doors to have mfgs. standard screens. Set window head rough openings at 6'-10" A/F unless noted otherwise. All new sleeping rooms are to have egress windows per code. Field verify custom & replacement window sizes prior to ordering. All glazed doors to have tempered glass. All windows within 24" of the opening of an operable door to have tempered glass. All windows within 6' of the floor at bathtub and shower locations to have tempered glass. All windows adjacent to stairs and window seats to have tempered glass. All windows with sills within 18" of finished floor to have tempered glass. All second floor windows with sills 24" or less above floor to have built-in opening limiter device. G.C. to get confirmation in writing from Owner for exterior cladding color, interior finish color and hardware style & finish.
19. Sectional overhead garage doors to be Clopay Collection carriage house style doors as shown, with manufacturer's standard spring balance system, and motorized door operators at each door with "electric eye" safety reversing system, wireless operator controls and push-button switches.
20. All electrical systems are to be installed per applicable codes. Provide outlets at all appliances. Typical switch height is 48". Outlets at counter tops to be 6" above counter. Electrical information shown is schematic, verify outlet, switch and fixture locations prior to installation. All recessed lights in insulated ceiling areas are to be "ICT" type with sealed enclosures and energy rated trim. All interior lighting to be on dimmer switch unless noted otherwise.
21. All plumbing is to be installed per code. All vent stack terminations to be located on back side of main roof ridge and painted black. Exterior hose bibs to be frost-proof type.
22. Provide draft-stopping and fire-stopping per code at all concealed draft openings (both vertical and horizontal) and to form an effective fire barrier between stories and between upper story and roof.
23. Insulation: At new construction provide min. R-21 cavity and R-5 continuous insulation at exterior walls, R-38 cavity and R-13 continuous insulation at ceilings adjoining unheated attic space, R-38 closed-cell spray foam at vaulted ceilings, R-30 insulation at floors adjoining unheated space or as noted. Provide draft baffles as required to ensure free flow of air from eaves to attic vents. At existing areas being renovated fill framing cavities adjoining unheated space fully w/ fiberglass batt insulation unless noted otherwise.
24. HVAC equipment to be sized and installed per code. Provide exhaust fans at bath rooms without natural ventilation that provide 1 air change every 12 minutes per code. Provide combustion air supply to all gas appliances per code.
25. Install 2-zone horizontal flow gas-fired warm air furnace w/ A/C coil at Attic to serve Second Floor, min. 92% efficient, closed combustion unit with PVC flue to be vented through outside wall or roof. If vented through roof, vent pipes to be on back side of ridge. Confirm venting location in field with owner. Furnace to have high efficiency media filter. New air conditioning condensers to be SEER 13 min. HVAC units to be controlled by electronic thermostat with 7-day timer. HVAC contractor to be responsible for design and layout of new and existing systems to heat new and existing space to 72 deg. with an exterior temperature of 0 deg., and cool new and existing spaces to 72 deg. with an exterior temperature of 100 deg.
26. Install gas-fired direct vent tankless domestic water heater w/ leak detector.
27. See interior trim notes at floor plan. Interior trim to match existing at that floor, unless noted otherwise. All areas with hard surface flooring to have shoe molding. G.C. to provide trim samples for Owner/Architect selection prior to ordering. Interior trim to be poplar or clear pine for paint.
28. All interior door sizes indicated are nominal. Center doors in walls or 4" from corner unless noted otherwise.
29. New interior doors and hardware to match existing, unless noted otherwise. Hardware finish to be selected by Owner and confirmed with Architect.
30. Provide fire-rated gypsum board (type x) at all locations required by code (garages, stairs, HVAC closets, etc.).
31. Ceramic and stone wall tile to be installed over 1/2" cement backer board. Backer board to be installed per manufacturer's written instructions. Ceramic and stone floor tile to be thinset over setting bed with expanded metal mesh.
32. New wood flooring to be indicated on drawings for size and wood species. New wood flooring to be Select grade, unless being matched to existing. All new & refinished wood floors to be stained. New wood floors and refinished existing wood floors are to be finished with Bona Kemi polyurethane, sealer plus 3 finish coats; 4 finish coats at kitchen. G.C. to confirm oil or water based in bid. Stain color to be as selected by Owner from physical sample. Sheen of finish to be selected by Owner.
33. Millwork cabinets and counters at Kitchen are to be furnished and installed by owner under separate contract.
34. Bathroom vanities and counters are to be purchased by Owner & installed by G.C.
35. All appliances to be furnished by owner, installed by G.C. unless noted otherwise. G.C. to provide all utility connections for appliances, as shown and as required.
36. All interior walls, doors, trim and windows comprising new construction as well as adjacent surfaces to be painted unless noted otherwise. All painted surfaces to receive one coat of primer plus two finish coats. Walls and ceilings to be flat or matte finish, to be determined by owner. Doors, windows and trim to be semi-gloss finish. Paint colors at all locations to be determined by owner.
37. All paintable exterior siding, windows, doors, soffits and trim comprising new construction as well as adjacent surfaces to be painted. All wood trim to be back-primered prior to installation. All exterior to receive one prime coat plus two finish coats. Exterior trim paint to be semi-gloss finish. New wood siding to be stained or painted at owner's discretion, siding to receive min. two coats stain or paint.
38. All roof areas to have GAF Corp. Timberline HD roofing shingles unless noted otherwise. Ice and water shield by W.R. Grace to be installed at all eaves, valleys, low slope areas less than 6:12 pitch, and other areas as indicated.
39. G.C. to provide temporary toilet facilities on site for all workers.
40. Provide material allowances as follows: (Note: installation and all materials required for installation are to be included as part of general contract, material allowance to cover cost of finish material only):
 - Interior door hardware: \$50 for each latchset, \$60 for each lockset.
 - Ceramic tile: \$8/s.f.
 - Stone tile: \$12/s.f.
41. Provide the following allowances for finish plumbing materials including fixtures, faucets and fittings (Note: installation and all materials required for installation are to be included as part of general contract, material allowance to cover cost of finish material only):
 - Owner to purchase plumbing fixtures and fittings.





site photo's
October
24th 2025

