

## GENERAL NOTES

1. THESE DRAWINGS HAVE BEEN PREPARED IN ACCORDANCE WITH THE UNIFORM CONSTRUCTION CODE. ALL CONTRACTORS SHALL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE AFOREMENTIONED CODE.
2. ALL CONTRACTORS ARE TO PROVIDE NECESSARY BARRICADES AND SAFETY PRECAUTIONS AND STRICTLY ADHERE TO ALL GOVERNING CODES ON SAFETY, INCLUDING STATE, LOCAL AND OSHA.
3. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND ARCHITECT FROM ANY AND ALL CLAIMS ARISING FROM THE CONSTRUCTION OF THIS PROJECT.
4. ANY ITEMS NOT SPECIFICALLY MENTIONED BUT IS REQUIRED TO MAKE THE WORK COMPLETE SHALL BE INCLUDED AT NO ADDITIONAL COST TO THE OWNER.
5. IN THE ABSENCE OF AN OWNER-ARCHITECT AGREEMENT FOR CONSTRUCTION ADMINISTRATION, THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR FIELD COORDINATION OF CONSTRUCTION, REVIEW AND PROCESSING OF SHOP DRAWINGS AND IN GENERAL, CONSTRUCTION ADMINISTRATION.
6. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS. ALL WORK AND MATERIALS SHALL MEET THE REQUIREMENTS OF ALL LOCAL AND STATE CODES.
7. CONTRACTOR SHALL CHECK AND VERIFY ALL PLAN DIMENSIONS AND ALL FIELD DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION. HE SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR CORRECTION BEFORE BEGINNING ANY WORK. THE DISCOVERY OF DISCREPANCIES AFTER THE START OF WORK SHALL BE EVIDENCE OF FAULTY PREPARATION ON THE PART OF THE CONTRACTOR AND THE COST OF CORRECTION SHALL BE BORNE BY THE CONTRACTOR.
8. CHANGES TO OR DEVIATIONS FROM THESE DRAWINGS SHALL NOT BE MADE WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
9. DO NOT SCALE DRAWINGS.
10. THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED WITHOUT HIS CONSENT. DRAWINGS SHALL NOT BE USED FOR FILING FOR BUILDING PERMITS UNLESS SIGNED AND SEALED BY THE ARCHITECT.
11. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL BUILDING PERMITS PRIOR TO BEGINNING CONSTRUCTION.
12. THESE CONSTRUCTION DRAWINGS AND DOCUMENTS DO NOT ASSIGN WORK TO A SPECIFIC TRADE OR SUBCONTRACTOR. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO DIVIDE THE WORK AMONG HIS SUPPLIERS AND SUBCONTRACTORS AS HE SEES FIT AND ACCORDING TO HIS CONTRACTUAL AGREEMENT WITH HIS SUPPLIERS AND SUBCONTRACTORS.
13. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL WORK INDICATED IN THE CONSTRUCTION DRAWINGS AND DOCUMENTS. ANY ITEMS NOT SPECIFICALLY MENTIONED BUT REQUIRED TO MAKE THE WORK COMPLETE SHALL BE INCLUDED AT NO ADDITIONAL COST TO THE OWNER.

## WOOD

1. FURNISH LUMBER MANUFACTURED TO COMPLY WITH PS 20 "AMERICAN SOFTWOOD LUMBER STANDARD" AND WITH APPLICABLE GRADING RULES OF INSPECTION AGENCIES CERTIFIED BY AMERICAN LUMBER STANDARDS COMMITTEE'S BOARD OF REVIEW.
2. FURNISH LUMBER WITH EACH PIECE FACTORY MARKED WITH GRADE STAMP, SHOWING GRADE, SPECIES, MOISTURE CONTENT AT TIME OF SURFACING, AND MILL.
3. FOR EXPOSED LUMBER, FURNISH PIECES OF LUMBER MARKED ON ENDS OR BACK OF PIECE.
4. ALL LUMBER SHALL BE DRESSED, SURFACED 4 SIDES, (S4S), UNLESS NOTED OTHERWISE.
5. STRUCTURAL FRAMING LUMBER SHALL BE HEM-FIR, DOUGLAS FIR OR SPRUCE-PINE-FIR, AS DESIGNATED BY WESTERN WOOD PRODUCTS ASSOCIATION, WITH FIBER STRESS IN BENDING,  $fb = 1,100$  PSI, OR GREATER AND A MODULUS OF ELASTICITY OF 1,100,000 PSI OR GREATER.
6. WALL FRAMING SHALL BE "STUD" GRADE OR BETTER.
7. ALL LUMBER SHALL HAVE A MAXIMUM MOISTURE CONTENT OF 15%.

## ROOFING

1. ROOF SHINGLES SHALL BE SELECTED BY THE OWNER. CONTRACTOR TO INSTALL SHINGLES IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN SPECIFICATIONS, COMPLYING WITH ALL REQUIREMENTS TO INSURE THE OWNER HAS A FULL WARRANTY FOR THE SHINGLE SELECTED. A WRITTEN COPY OF THE WARRANTY, SIGNED BY A PERSON AUTHORIZED BY THE MFR. TO INSPECT THE ROOF INSTALLATION FOR COMPLIANCE, SHALL BE DELIVERED TO THE OWNER BEFORE FINAL PAYMENT IS MADE.
2. INSTALL METAL FLASHING OVER ALL WINDOWS AND DOORS IN EXTERIOR WALLS.
3. ALUMINUM GUTTERS AND LEADERS SHALL BE .032" GAGE ALUMINUM WITH BAKED ON FINISH. LEADERS SHALL BE 3"X4" AND GUTTERS SHALL BE 5". COLOR SHALL BE SELECTED BY OWNER.
4. ALL RIDGES SHALL HAVE RIDGE VENTS, WITH SCREENS TO PREVENT INSECTS FROM NESTING WITHIN THE ROOF.
5. ALL SOFFITS SHALL BE VENTILATED WITH EITHER PERFORATED SOFFIT PANELS OR INDIVIDUAL VENTS, WITH AREA OF VENTILATION GRILLES TO BE TWICE THE AREA REQUIRED IN THE BUILDING CODE.

## SIDING

1. SIDING SHALL BE SELECTED BY THE OWNER. CONTRACTOR SHALL INSTALL SIDING IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS, COMPLYING WITH ALL REQUIREMENTS TO INSURE THE OWNER HAS A FULL WARRANTY FOR THE SIDING SELECTED. A WRITTEN COPY OF THE WARRANTY SHALL BE GIVEN TO THE OWNER BEFORE FINAL PAYMENT IS MADE.
2. SEALANT SHALL BE APPLIED TO THE PERIMETER OF ALL WINDOWS AND DOORS ON THE EXTERIOR OF THE BUILDING. SEALANT COLOR SHALL MATCH THE COLOR OF THE WINDOWS.
3. VINYL SIDING SHALL CERTIFIED AND LABELED AS CONFORMING TO THE REQUIREMENTS OF ASTM D 3679 BY AN APPROVED QUALITY CONTROL AGENCY.
4. BUILDING WRAP OR WEATHER RESISTANT BARRIER SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS AND SHALL USE ALL OF THE MANUFACTURER'S SYSTEM'S COMPONENTS, INCLUDING BUT NOT LIMITED TO, FASTENERS, TAPES, SEALANT, ETC.

## EXTERIOR WINDOWS AND DOORS

1. EXTERIOR WINDOWS AND SLIDING DOORS SHALL BE TESTED BY AN APPROVED INDEPENDENT LABORATORY AND BEAR A LABEL IDENTIFYING MANUFACTURER, PERFORMANCE CHARACTERISTICS AND APPROVED INSPECTION AGENCY TO INDICATE COMPLIANCE WITH AAMA/WDMA/CSA 101/I.S.2/A440.
2. EXTERIOR SIDE HINGED DOORS SHALL BE TESTED AND LABELED AS CONFORMING TO AAMA/WDMA/CSA 101/I.S.2/A440 OR COMPLY WITH ASTM E 330.

**SELECTIVE DEMOLITION**

1. THIS SECTION REQUIRES THE SELECTIVE REMOVAL AND THE SUBSEQUENT LEGAL OFFSITE DISPOSAL OF PORTIONS OF THE EXISTING BUILDING INDICATED ON DRAWINGS AND AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
2. RELOCATE PIPES, DUCTS CONDUITS AND OTHER MECHANICAL AND ELECTRICAL ITEMS AS REQUIRED AND AS INDICATED ON ARCHITECTURAL AND ENGINEERING DRAWINGS TO COMPLETE THE WORK OF THIS CONTRACT.
3. CONDITION OF STRUCTURE: OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF ITEMS OR STRUCTURES TO BE DEMOLISHED.
4. DAMAGES: PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION WORK.
5. FLAME CUTTING: THE USE OF CUTTING TORCHES OR OPEN FLAME TO REMOVE MATERIALS FROM THE BUILDING IS NOT PERMITTED.
6. MAINTAIN FIRE PROTECTION SERVICES DURING SELECTIVE DEMOLITION OPERATIONS.
7. CEASE OPERATIONS AND NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO SUPPORT STRUCTURE UNTIL DETERMINATION IS MADE FOR CONTINUING OPERATIONS.
8. COVER AND PROTECT FURNITURE, EQUIPMENT AND FIXTURES FROM SOILAGE OR DAMAGE WHEN DEMOLITION WORK IS PERFORMED IN AREAS WHERE SUCH ITEMS HAVE NOT BEEN REMOVED.
9. IF UNANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS THAT CONFLICT WITH INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE BOTH NATURE AND EXTENT OF THE CONFLICT. SUBMIT REPORT TO OWNER'S REPRESENTATIVE IN WRITTEN, ACCURATE DETAIL. PENDING RECEIPT OF DIRECTIVE FROM OWNER'S REPRESENTATIVE, REAPPROVE SELECTIVE DEMOLITION SCHEDULE AS NECESSARY TO CONTINUE OVERALL JOB.

**CONCRETE**

1. ALL CONCRETE WORK IS DESIGNED ON THE BASIS OF "STRENGTH DESIGN" IN ACCORDANCE WITH ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE". ALL CONCRETE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACI 318.
2. CONCRETE WORK SHALL BE PROPORTIONED IN ACCORDANCE WITH ACI 301, "SPECIFICATIONS FOR STRUCTURAL CONCRETE" AND ACI 211.1, "RECOMMENDED PRACTICES FOR SELECTING PROPORTIONS FOR NORMAL WEIGHT CONCRETE", TO PRODUCE A 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI, UNLESS NOTED OTHERWISE.
3. NO WATER SHALL BE ADDED TO THE CONCRETE MIX AT THE JOB SITE WITHOUT THE APPROVAL OF THE ENGINEER.
4. ALL AGGREGATE SHALL CONFORM TO ASTM C-33.
5. ADMIXTURES MAY BE USED ONLY AFTER THE REVIEW AND APPROVAL BY THE ARCHITECT.
6. CONCRETE COVER FOR REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ACI 318, AND SHALL BE, MINIMALLY, AS LISTED BELOW:
  - A. SLABS - 3/4"
  - B. UNFORMED CONCRETE BELOW GRADE - 3"
  - C. FORMED CONCRETE BELOW GRADE - 2"
7. ALL REINFORCING STEEL SHALL COMPLY WITH ASTM A 615 AND/OR ASTM A 617.
8. ALL REINFORCING STEEL SHALL:
  - A. COMPLY WITH ASTM A 615 AND OR ASTM A 617

## PROGRESS WITH

10. UPON COMPLETION OF DEMOLITION WORK, REMOVE TOOLS, EQUIPMENT AND DEMOLISHED MATERIALS FROM SITE. REMOVE PROTECTIONS AND LEAVE INTERIOR AREAS BROOM CLEAN.
11. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED. RETURN ELEMENTS OF CONSTRUCTION AND SURFACES TO REMAIN TO CONDITION EXISTING PRIOR TO START OF OPERATIONS. REPAIR ADJACENT SURFACES SOILED OR DAMAGED BY SELECTIVE DEMOLITION WORK.

## SITEWORK

  1. EXCAVATE AS REQUIRED FOR FOUNDATIONS TO UNDISTURBED VIRGIN SOIL.
  2. TOP SOIL IS TO BE REMOVED AND STORED ON SITE AS DIRECTED BY THE OWNER. OTHER EXCAVATED MATERIAL, IF SUITABLE, MAY BE USED AS BACKFILL IN NON-LOAD BEARING SITUATIONS. EXCESS EXCAVATED MATERIAL SHALL BE LEGALLY DISPOSED OF OFF-SITE. PROFITS FROM THE SALE OF EXCESS EXCAVATED MATERIAL SHALL BE INCORPORATED INTO THE COST OF EXCAVATION FOR THE BENEFIT OF THE OWNER.
  3. ASSUMED SOIL BEARING CAPACITY IS 2,000 PSF. ANY EVIDENCE OF ORGANIC MATTER IN THE SOIL, OR ANY STRATA OF SOIL THAT APPEARS TO BE QUESTIONABLE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
  4. BACKFILL MATERIAL SHALL BE CLEAN, WELL GRADED GRAVEL WITHOUT ANY ORGANIC MATERIAL OR DEBRIS AND SHALL NOT BE FROZEN.
  5. COMPACTION OF BACKFILL UNDER FOOTINGS SHALL BE IN 8" LIFTS AND ACHIEVE A DENSITY OF 98%, AS TESTED BY A TESTING LAB.
  6. BOTTOM OF FOOTINGS SHALL BE MINIMUM OF 3'-0" BELOW GRADE, OR DEEPER, IF CALLED FOR IN THE BUILDING CODE. CONTRACTOR SHALL CHECK WITH THE LOCAL BUILDING DEPARTMENT FOR LOCAL REQUIREMENTS.
  7. CONTRACTOR SHALL PROVIDE SHORING OR BRACING IN ACCORDANCE WITH OSHA REQUIREMENTS. CARE SHALL BE TAKEN TO AVOID UNDERMINING ADJACENT EXISTING STRUCTURES. UNDERPINNING OF EXISTING STRUCTURES SHALL ONLY BE DONE WITH AN UNDERPINNING PLAN DESIGNED BY A STRUCTURAL ENGINEER, SIGNED AND SEALED AND FILED WITH THE LOCAL BUILDING DEPARTMENT.

  8. BE ACCURATELY PLACED, RIGIDLY SUPPORTED AND FIRMLY TIED IN PLACE WITH BAR SUPPORTS AND SPACERS, IN ACCORDANCE WITH ACI 318 AND ACI 301.
  9. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 AND BE POSITIONED SO AS TO BE IN THE CENTER OF DEPTH OF THE SLAB.
  10. CONCRETE SLABS SHALL BE, UNLESS OTHERWISE NOTED, 4" THICK WITH 6X6-W1.4XW1.4 (6X6-10X10) WELDED WIRE FABRIC ON 6 MIL THICK POLYETHYLENE SHEET ON 4" COMPACTED GRAVEL OR CRUSHED STONE.
  11. JOINTS SHALL OCCUR A MAXIMUM OF 3 TIMES IN FEET THE DEPTH OF THE CONCRETE SLAB IN INCHES. FOR EXAMPLE, 4" SLAB SHALL HAVE JOINTS 12' ON CENTER MAXIMUM.

## STEEL

  1. STEEL COLUMNS SHALL HAVE WELDED TOP AND BOTTOM PLATES AND BE THE SIZE AND WALL THICKNESS NOTED ON THE DRAWINGS. FILLING A TUBULAR COLUMN WITH CONCRETE DOES NOT ALLOW THE USE OF A THINNER THAN NOTED COLUMN.
  2. ALL CONNECTORS FOR WOOD JOISTS TO STEEL BEAMS SHALL BE SIMPSON STRONG-TIE CONNECTORS, OR EQUAL, GALVANIZED AND FASTENED WITH SIMPSON STRUCTURAL FASTENERS. THE USE OF COMMON NAILS WITH CONNECTORS IS NOT PERMITTED.
  3. ANCHOR BOLTS SHALL CONFORM TO ASTM A 307, AND BE SPACED A MAXIMUM OF 6'-0" O.C. WITH A MINIMUM OF TWO BOLTS PER SILL SECTION AND 1'-0" FROM THE END OF SILLS SECTIONS.

## ELECTRICAL

  1. ALL ELECTRICAL WORK SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE, NFPA 70, LATEST EDITION.
  2. ALL LIGHT FIXTURES, APPLIANCES, EQUIPMENT AND DEVICES SHALL BE UL LISTED FOR ITS INTENDED USE.

## AND FILED WITH SOIL EROSION

## SOIL EROSION

1. ALL PRECAUTIONS SHALL BE TAKEN TO PREVENT SOIL EROSION FROM OCCURRING. SOIL RUNOFF FROM THE SITE SHALL BE PREVENTED.

# HOBART AVENUE (60' R.O.W.)

# PROPOSED ARCHITECTURAL SITE PLAN

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57 HOBART AVENUE - RESIDENT DISTRICT			
ZONING TABLE - R-10			
	REQUIRED	EXISTING	PROPOSED
LOT AREA (MIN)	10,000 SF	10,184 SF	NO CHANGE
LOT WIDTH (MIN)	75'	50.92'	NO CHANGE (NC)
FRONT SETBACK (MIN)	30'	42.32'	NO CHANGE
REAR SETBACK (MIN)	40'	99.99'	91.97'
SIDE SETBACK (MIN)	12' (EACH)	7.78' ; 12.45'	NO CHANGE (NC)
TOTAL SIDE YARD (MIN)	35%	42%	NO CHANGE
BUILDING HT. (FT)	35'	N/A	
MAX STORIES	2	2.5	
BUILDING COVERAGE (MAX)	18%	23.2%	27.7% (NC) (V)
LOT COVERAGE (MAX)	35%	53.7%	57.2% (NC) (V)
FLOOR AREA RATIO	25%	N/A	NO CHANGE

<u>REVISIONS:</u>		
<u>REV #</u>	<u>DESCRIPTION:</u>	<u>DATE:</u>
	ZONING SUBMISSION	05.08.25
	LETTER OF INCOMPLETENESS #1	06.18.25

**REAR DECK EXTENSION  
GUILLAUME RESIDENCE**  
**57 HOBART AVENUE**  
**CITY OF SUMMIT**  
**UNION COUNTY**  
**BLOCK #2611 LOT #3**

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DWG. TITLE: **TITLE SHEET, BUILDING INFO & ZONING INFO, KEY PLAN**

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ARCHITECTURAL LICENSE NUMBERS:  
**NJ 21AI02225000**  
FL 101849  
NY 1633422  
PA PA 400825

GRZEGORZ HASAJ, AIA - ARCHITECT

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c. 973-508-2461  
ghasaj19@gmail.com

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DATE: 06.22.25 JOB NO. 025-003  
SCALE: AS NOTED  
DWN. BY: GH CHK. 9

A 200' area map showing a red highlighted building on Hobart Ave between Taleight By Ultimation and Springfield Ave. The map also shows The DeBary Inn and Essex Rd.

REVISIONS:  
REV # DESCRIPTION DATE:  
ZONING SUBMISSION 05.08.25

LETTER OF INCOMPLETENESS #1 06.18.25

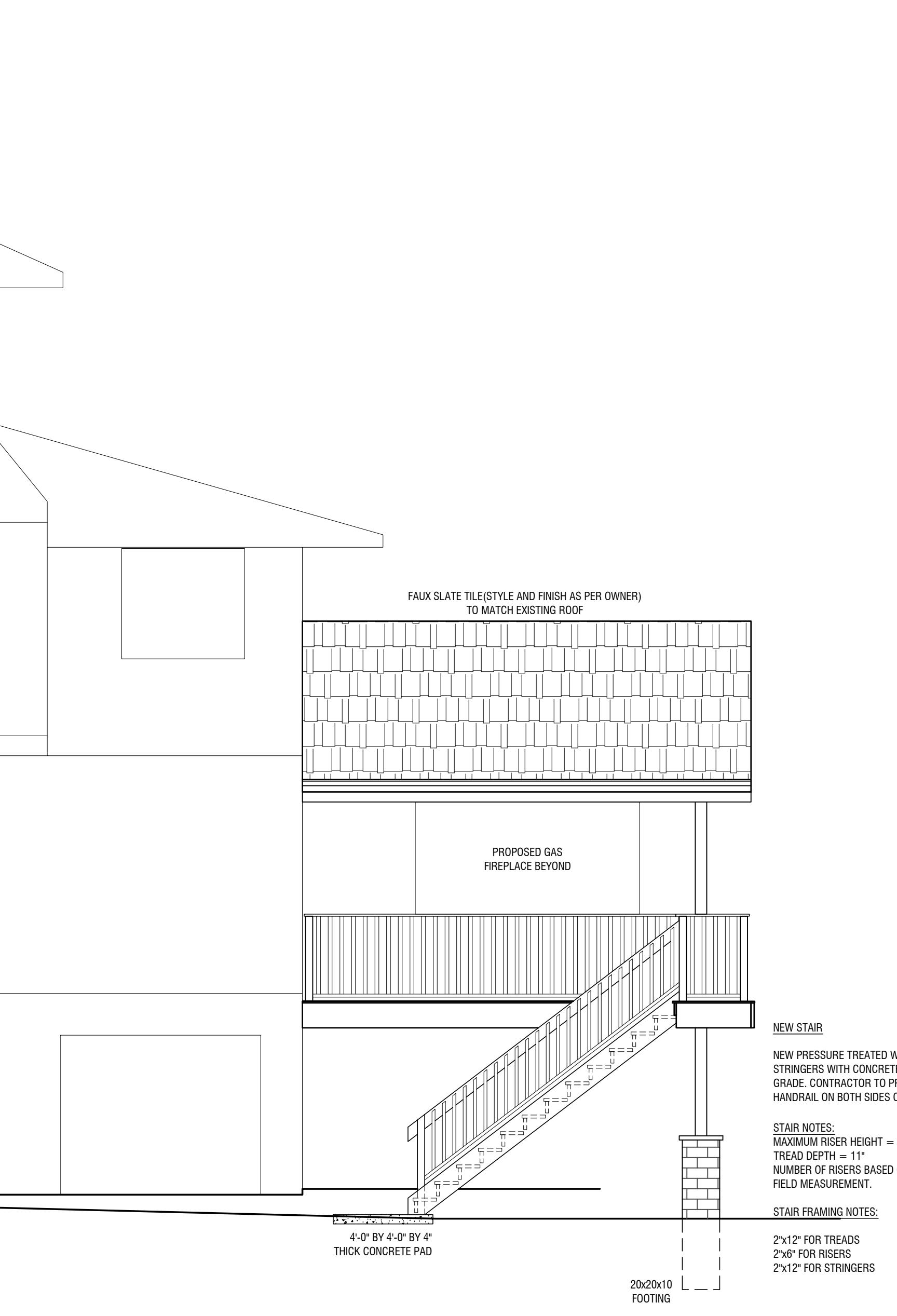
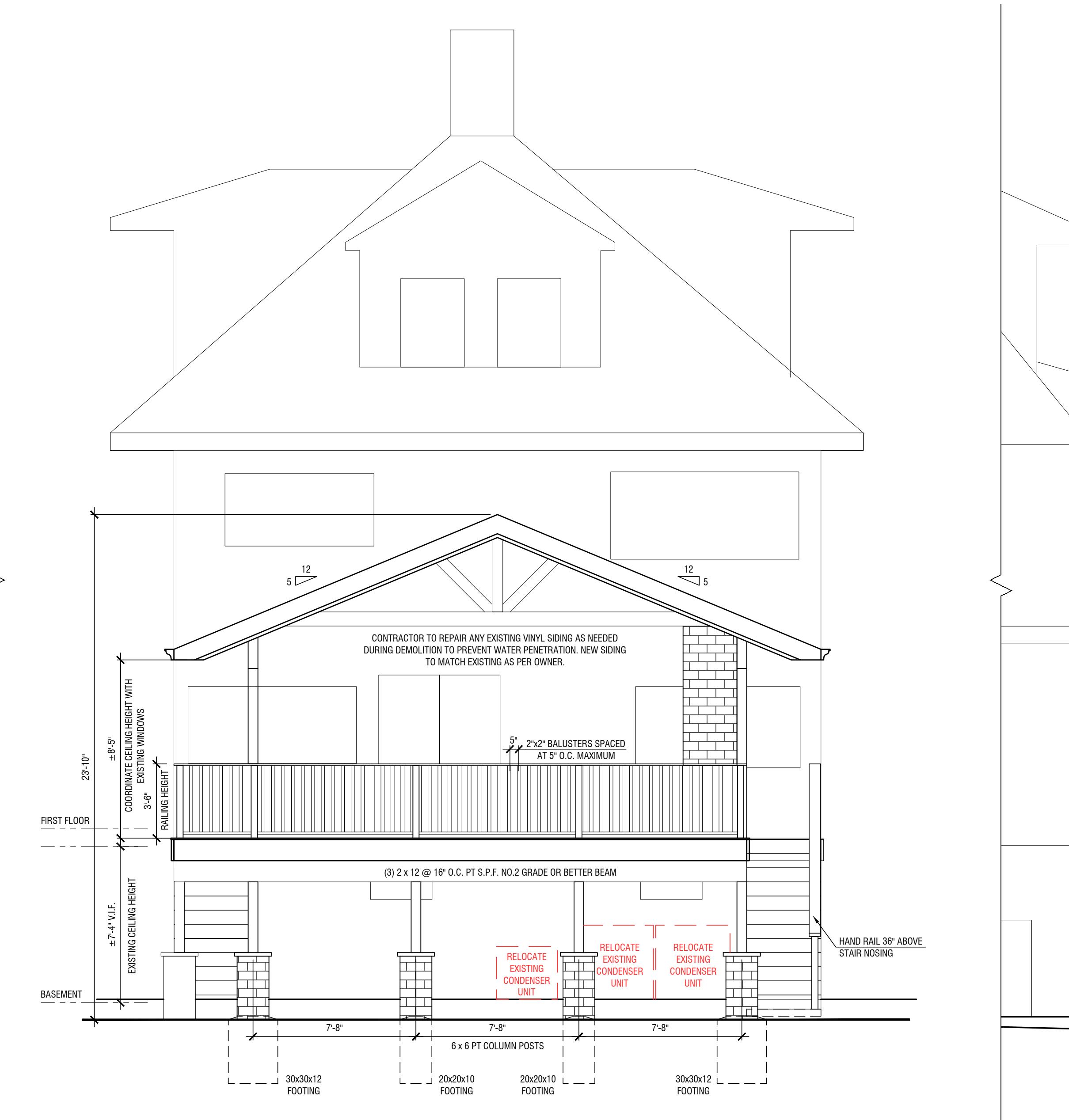
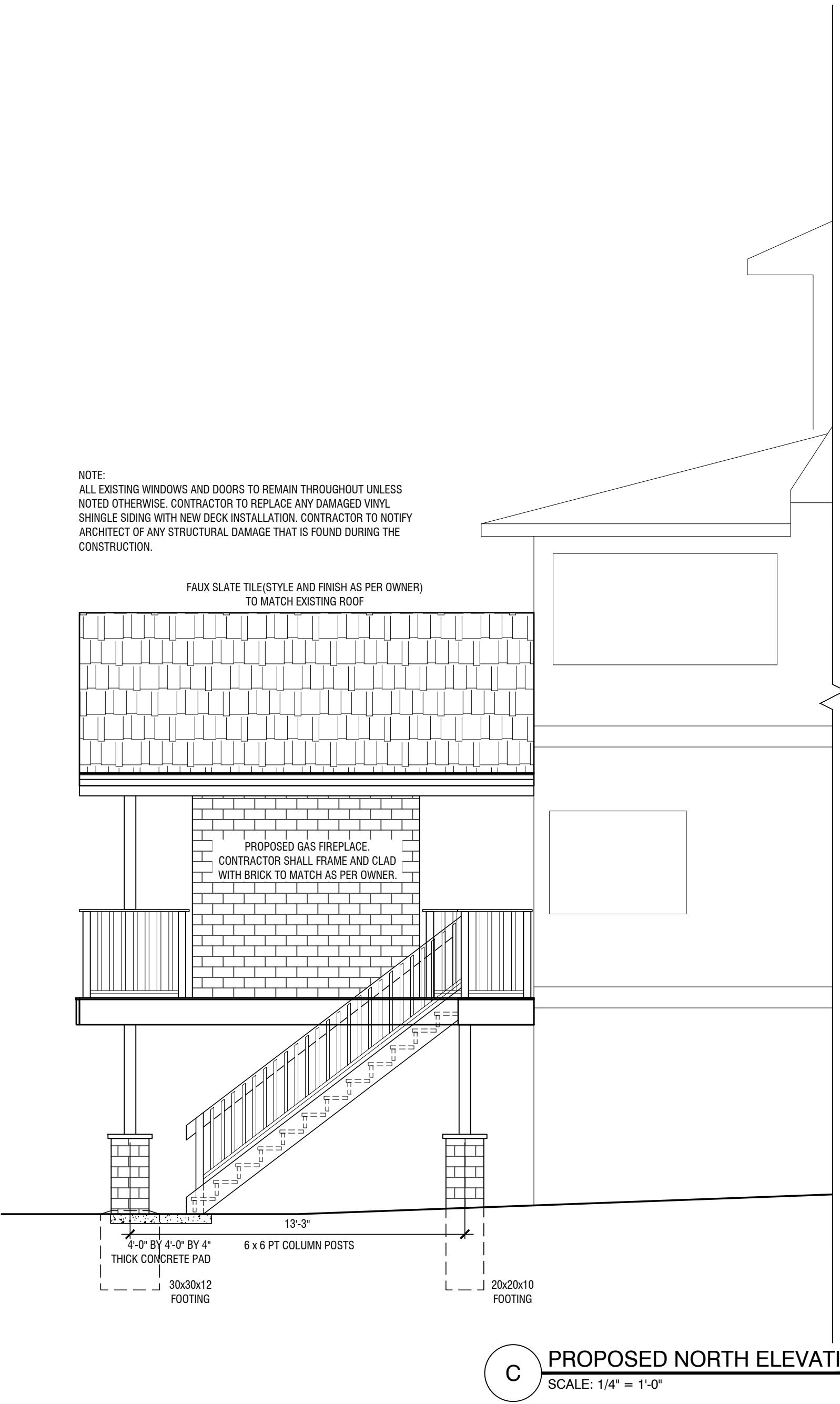
REAR DECK EXTENSION  
GUILLAUME RESIDENCE  
57 HOBART AVENUE  
CITY OF SUMMIT  
UNION COUNTY  
BLOCK #2611 LOT #3

PROPOSED PLANS AND ELEVATIONS

ARCHITECTURAL LICENSE NUMBERS:  
NJ 21A102225000  
FL 10162  
IN 1633422  
PA RA-409835

  
GRZEGORZ HASAJ, AIA - ARCHITECT  
c. 973-508-2461  
ghasaj19@gmail.com

DATE: 06.22.25  
SCALE:  
AS NOTED  
DWN. BY: GH  
CHK. BY: GH  
DWG. NO. 025-003  
JOB NO. 025-003  
A-2



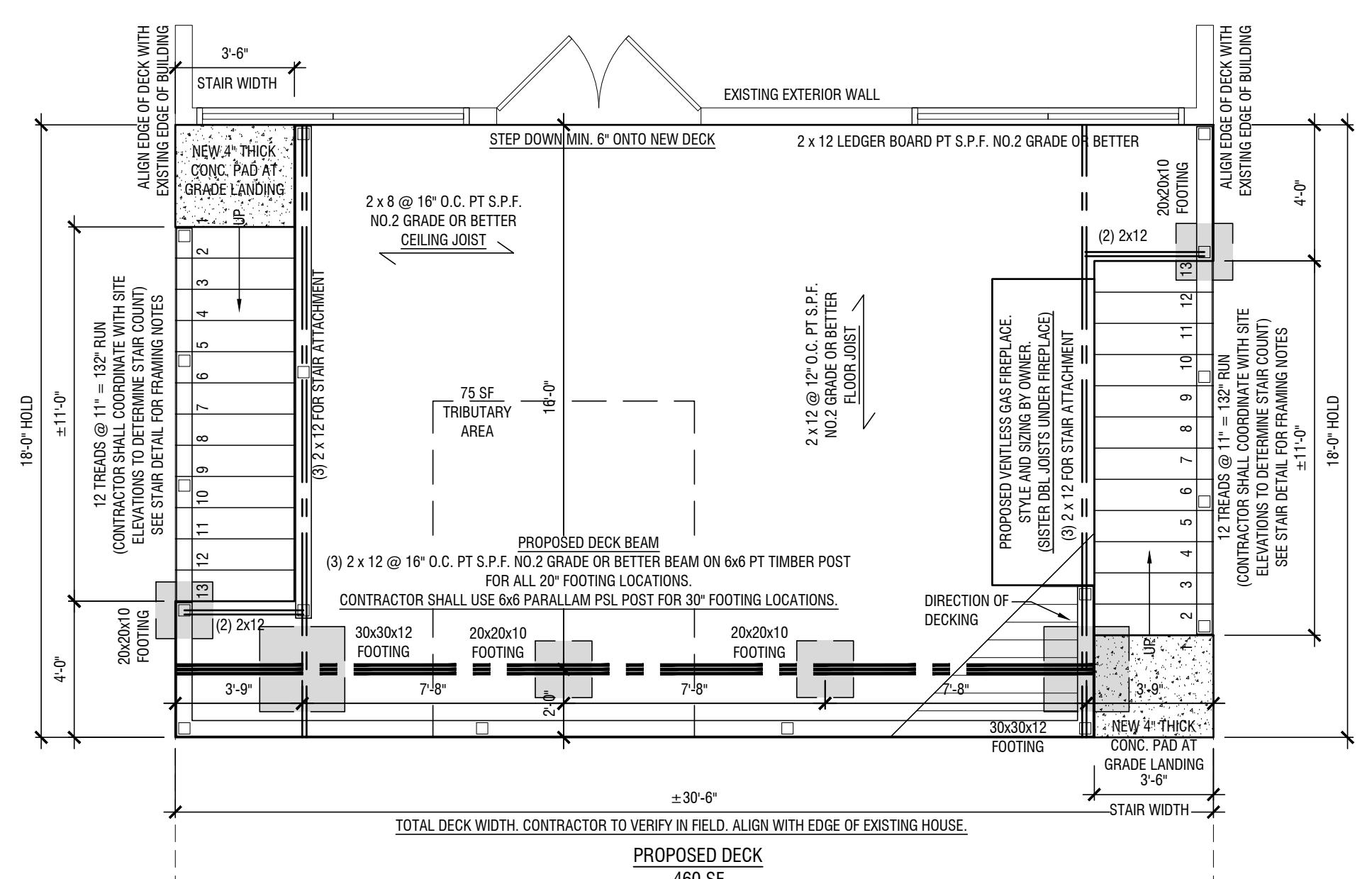
CONSTRUCTION LEGEND

- EXISTING DOOR AS PER OWNER.
- NEW WINDOW AS PER OWNER.
- GFCI DUPLEX ELECTRICAL RECEPTACLE WITH GROUND FAULT PROTECTION
- LIGHT SWITCH
- LIGHT FIXTURE AS PER OWNER
- WALL MOUNTED LIGHT FIXTURE
- WP ELECTRICAL DEVICE UL LISTED FOR EXPOSURE TO WEATHER

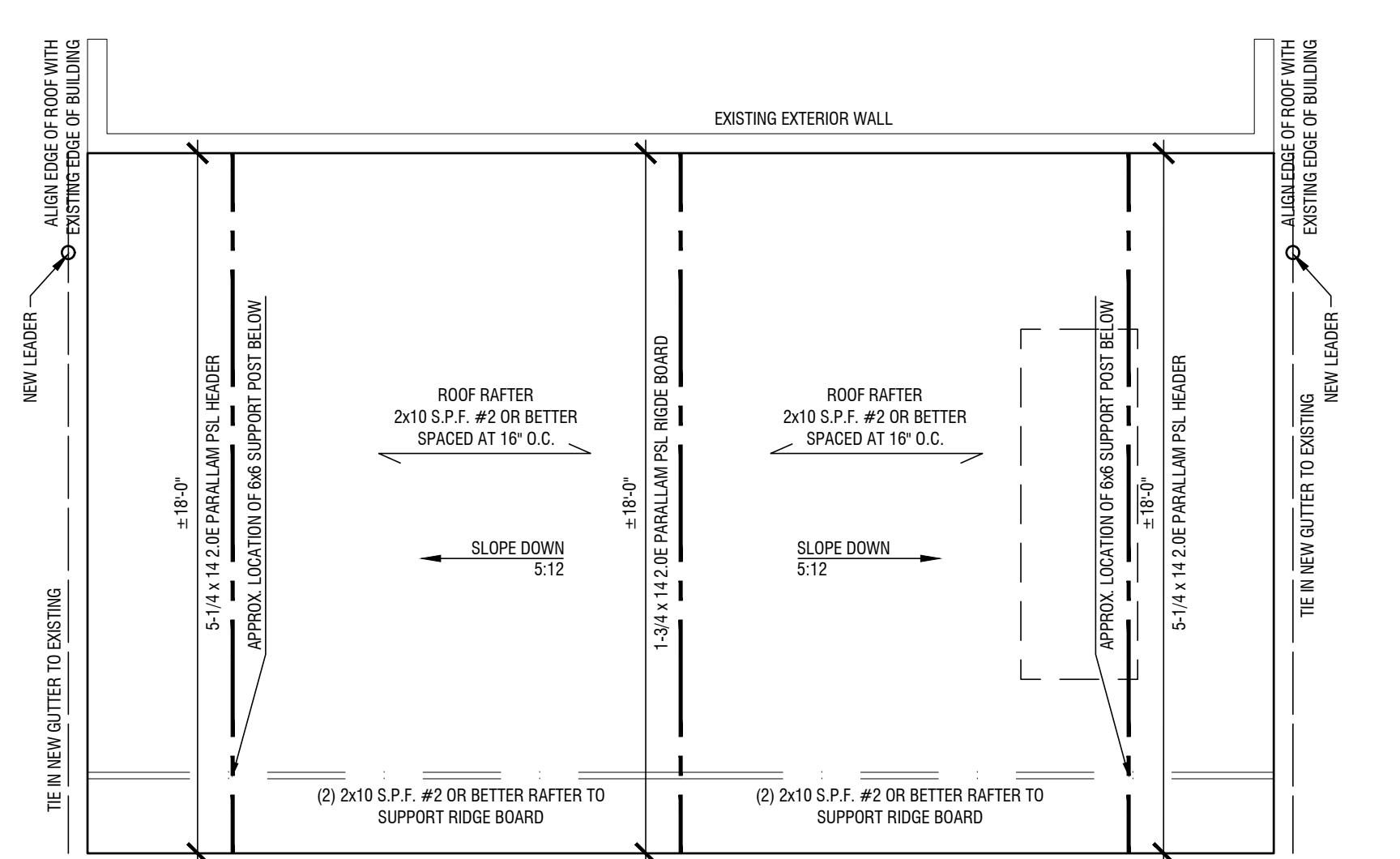
CONSTRUCTION NOTES

- ALL FINISHES TO BE SELECTED BY OWNER.
- ALL NEW LIGHT FIXTURES TO BE SELECTED BY OWNER.
- FINAL LIGHTING LAYOUT SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION.
- FINAL ELECTRICAL & TELEPHONE RECEPTACLES LAYOUT SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION.
- ALL WORK MUST COMPLY TO ALL LOCAL AND STATE CODES.
- ALL EXISTING FRAMING SIZES & EXISTING WINDOW ROUGH OPENINGS TO BE CONFIRMED PRIOR TO CONSTRUCTION.

THIS DRAWING IS APPROVED ONLY FOR THE SCOPE OF WORK INDICATED ON THE DRAWINGS. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON OR CONSIDERED AS EITHER BEING APPROVED BY THIS ARCHITECT AND HIS CONSULTANTS OR IN ACCORDANCE WITH APPLICABLE CODES AND STANDARDS



**1 PROPOSED FRAMING PLAN**  
SCALE: 1/4" = 1'-0"



**2 PROPOSED ROOF PLAN**  
SCALE: 1/4" = 1'-0"