

LINDEMAN RESIDENCE
PROPOSED ALTERATIONS AND ADDITIONS
TO EXISTING SINGLE FAMILY RESIDENCE

609 SPRINGFIELD AVENUE, SUMMIT, NJ LOT: 9 BLOCK: 1803

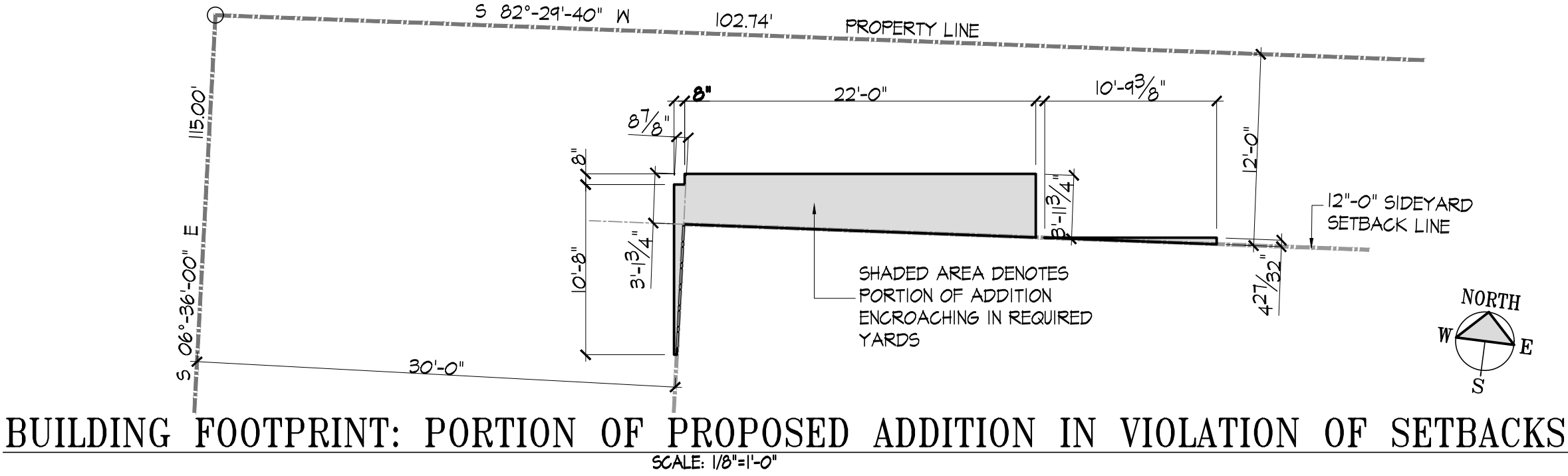
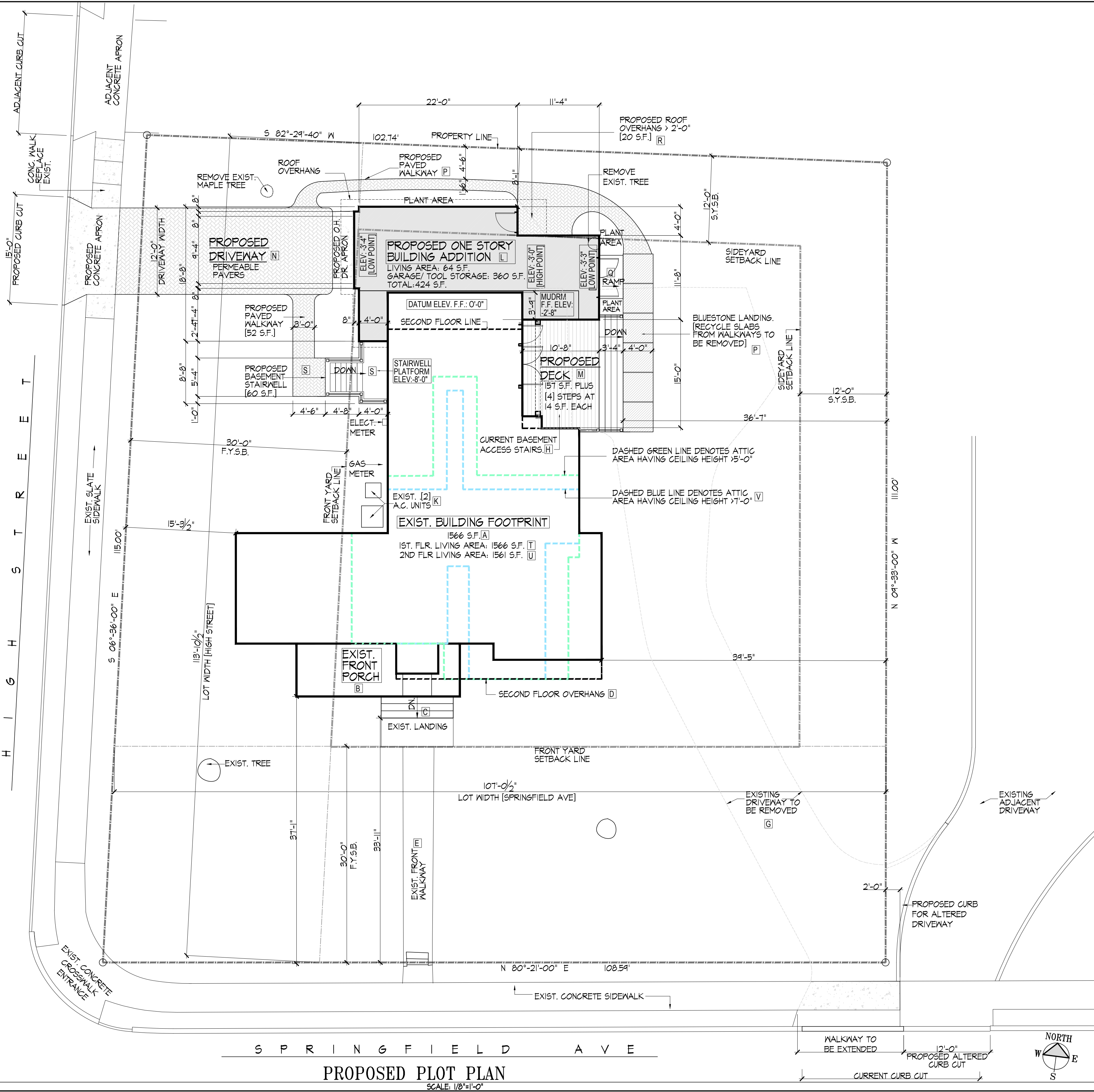


PHOTO OF CURRENT HOUSE
[VIEW FROM HIGH STREET]



RENDERING OF PROPOSED ADDITION
VIEW FROM HIGH STREET

NOTE:
LANDSCAPING IS EXCLUDED FROM
THE RENDERING TO SHOW CLARITY
OF BUILDING DESIGN



LIST OF AREAS		
A	EXISTING BUILDING FOOTPRINT	1566 S.F.
B	EXISTING FRONT PORCH	144 S.F.
C	EXISTING FRONT PORCH STEPS	20 + *10 S.F.
*BOTT STEP NOT INCLUDED FOR BLDG COVERAGE		
D	EXISTING 2ND FLOOR OVERHANGS	60 S.F.
E	EXISTING FRONT WALKWAY AND PLATFORM	190 S.F.
F	EXISTING REAR WALKWAY AND STEPS TO BE REMOVED	124 S.F.
G	EXISTING DRIVEWAY TO BE REMOVED	140 S.F.
H	EXISTING BASEMENT STAIRWELL TO BE REMOVED	24 S.F.
I	EXISTING ROOF OVERHANGS GREATER THAN 24"	0
J	EXISTING A.C. PAD	13 S.F.
L	PROPOSED BUILDING ADDITION	424 S.F.
M	PROPOSED DECK ADDITION	197 + *14 S.F.
*BOTT STEP NOT INCLUDED FOR BLDG COVERAGE		
N	PROPOSED DRIVEWAY AND O.H. DOOR APRON	352 S.F.
P	PROPOSED SIDEYARD WALKWAYS AND LANDING	275 S.F.
Q	PROPOSED RAMP TO TOOL STORAGE	20 S.F.
R	PROPOSED ROOF OVERHANGS GREATER THAN 24"	20 S.F.
S	PROPOSED BASEMENT STAIRWELL AND *WALKWAY	60 + *52 S.F.
T	EXISTING 1ST FLOOR LIVING AREA	1566 S.F.
U	EXISTING 2ND FLOOR LIVING AREA	1561 S.F.
V	EXISTING ATTIC AREA GREATER OR EQUAL TO 7'-0" FT.	632 S.F.
W	PROPOSED 1ST FLOOR LIVING AREA ADDED	64 S.F.

F.A.R. NOTE:
THE AREA OF THE REQUIRED GARAGE (REQUIRED GARAGE IN THE R-10 ZONE
EQUALS 516 SQUARE FEET) OR THE ACTUAL GARAGE, WHICHEVER IS LESS, MAY
BE EXCLUDED.
AREA OF PROPOSED GARAGE: 360 S.F.
AREA OF REQUIRED GARAGE IN THE R-10 ZONE: 516 S.F.
GARAGE AREA MAY BE EXCLUDED FOR F.A.R.

ZONING SUMMATION				
REGULATION	ALLOWED	EXISTING	PROPOSED	VARIANCE
LOT AREA	12000 S.F.	11,433 S.F.	11,433 S.F.	NO
LOT WIDTH (SPRINGFIELD AVE.)	75 FT.	107.04 FT.	107.04 FT.	NO
LOT WIDTH (HIGH STREET)	75 FT.	113.88 FT.	113.88 FT.	NO
FRONT YARD (SPRINGFIELD AVE.)	30 FT.	37.1 FT.	37.1 FT.	NO
FRONT YARD (HIGH STREET)	30 FT.	15.3 FT.	24.1 FT.	YES
SIDE YARD (SPRINGFIELD AVE.)	15 FT.	14.9 FT.	34.4 FT.	NO
SIDE YARD (HIGH STREET)	15 FT.	14.9 FT.	8.1 FT.	YES
TOTAL SIDE YARD (SPRINGFIELD AVE.)	35%	51.1%	48.5%	NO
TOTAL SIDE YARD (HIGH STREET)	35%	34.8 FT.	36.8%	NO
LOT COVERAGE	35%	24.9 S.F.	28.7 S.F.	NO
BUILDING COVERAGE	18%	14.8%	20.4%	YES
BUILDING HEIGHT	35 FT.	34.5 FT.	34.5 FT.	NO
NUMBER OF STORES	2	2	2	NO
FLOOR AREA RATIO	25%	31.5%	32.0%	YES

ZONING AND PLOT PLAN NOTES	
ZONE: R-10 LOT SIZE: 11933 S.F. CORNER LOT	
1. THIS PLOT PLAN IS BASED ON AN ORIGINAL SURVEY PREPARED BY: ANDREW B. CLARKE-PLS. PE LICENSE # 660106600 466 SOUTHERN BLVD, CHATHAM NJ 07928 JOB #22071, DATED: 04/12/22	3. REGARDING TOTAL SIDE YARD SETBACK, THE ARCHITECT'S CALCULATIONS ARE TAKEN TO THE BOTTOM STEP OF THE DECK STAIRS AND THE BOTTOM STEP OF FRONT PORCH STAIRS (PER ZONING OFFICIAL'S DIRECTION). THE CIVIL ENGINEER'S CALCULATIONS SHOWN IN THE GRADING PLAN ARE TAKEN TO EDGE OF PORCH AND EDGE OF DECK.
2. FINISH FIRST FLOOR ELEVATION IS DENOTED AS DATUM ELEV. 0'-0" ON PLOT PLAN AND REFERENCES ELEVATION 194.0 FT ON SURVEY.	4. BOTH THE CURRENT AND PROPOSED AVERAGE GRADE HEIGHT IS ELEV. 193.3 FT. AS TAKEN FROM THE ENGINEER'S GRADING PLAN. THEREFORE THERE WILL BE NO CHANGE IN BUILDING HEIGHT.

OUTSIDE LIGHTING REQUIREMENTS	
1. The maximum height of all light fixtures shall not exceed 15 feet as may otherwise be required by law. All light fixtures shall be designed, installed and maintained to prevent trespass light.	5. All lighting shall be designed to prevent misdirected or excessive artificial light and to maximize energy efficiency.
2. Site lighting shall not include any uplighting fixture, except lighting fixtures directly focused upon on-site landscaping or architectural features, the sources of which cannot be seen from adjacent properties or rights-of-way and do not generate excessive light trespass.	7. The style of the light and light standards shall be consistent with the architectural style of the principal building or surrounding area.
3. Lighting fixtures shall contain appropriate shielding to direct light and minimize unnecessary glare and sky glow. Lighting fixtures shall be dark-sky compliant or the equivalent. Any fixture mounted above 10 feet shall have no more than 10% of its light distribution at a vertical angle of 80° above nadir (the lowest point) and 25% at an angle of 90° above nadir (the lowest point).	8. The maximum illumination at property lines shall be 1/10 footcandle at grade.
4. Illumination levels shall not exceed those recommended in the IESNA Lighting Handbook, 8th Edition, as amended from time to time.	9. All wiring shall be laid underground.
	10. No lighting shall be of a yellow, red, green or blue beam nor be of a rotating, pulsating or other intermittent operation.
	11. Bare bulbs or tubes are prohibited, excluding cafe- or bistro-style.
	12. String lights or lengths of LED lighting around any architectural element of a building shall be prohibited, excluding holiday lights.

PROPOSED ADDITION AND ALTERATIONS

TODD AND JESSICA LINDEMAN
609 SPRINGFIELD AVENUE, SUMMIT, NJ, LOT 9, BLOCK 1803

MICHAEL CHIARELLA ARCHITECT
81 OAKWOOD DRIVE
NEW PROVIDENCE, NJ

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S E A L

SHEET# 1 OF 4



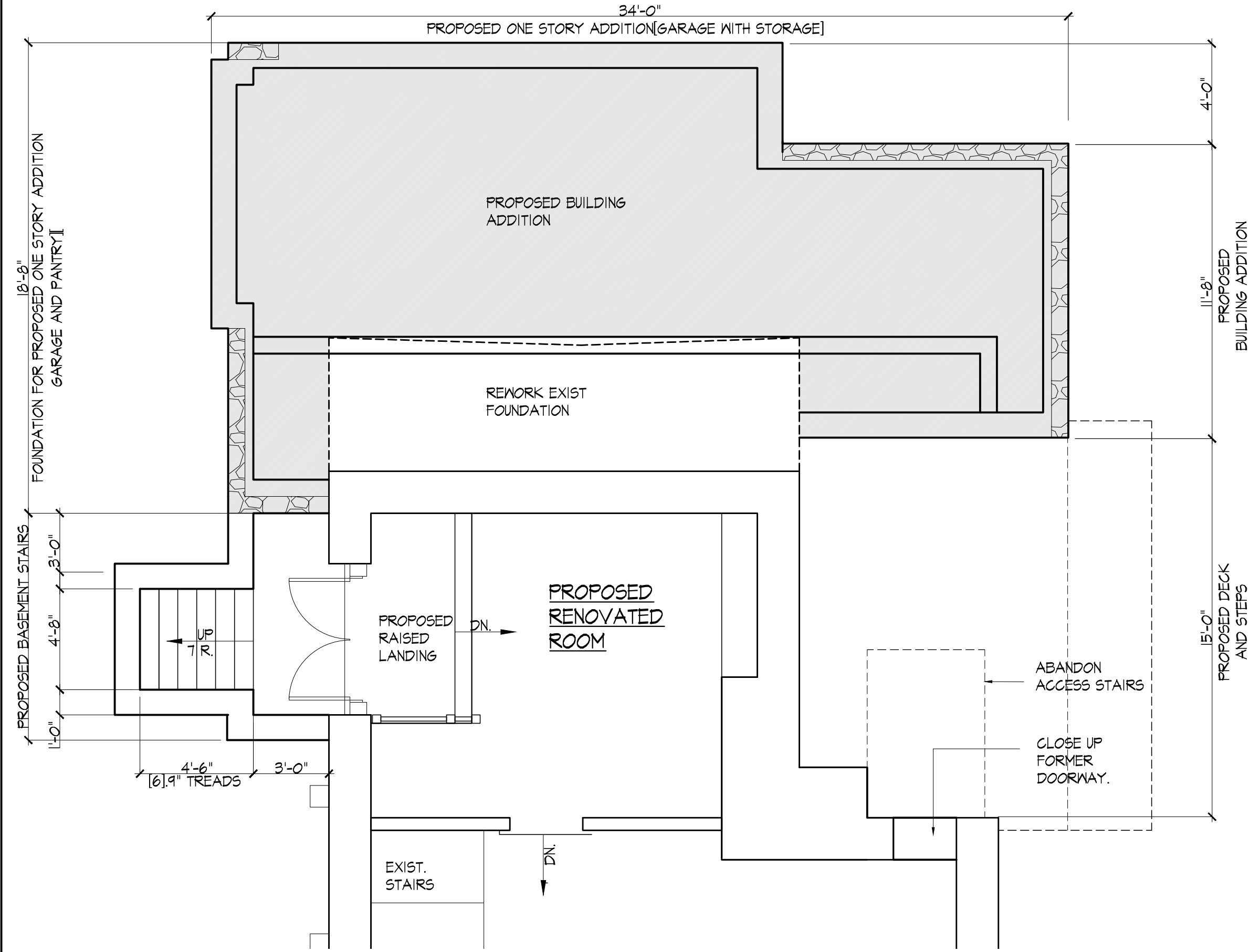
PROPOSED LEFT SIDE [HIGH STREET] EXTERIOR ELEVATION [WESTERN]

SCALE: 1/4"=1'-0"



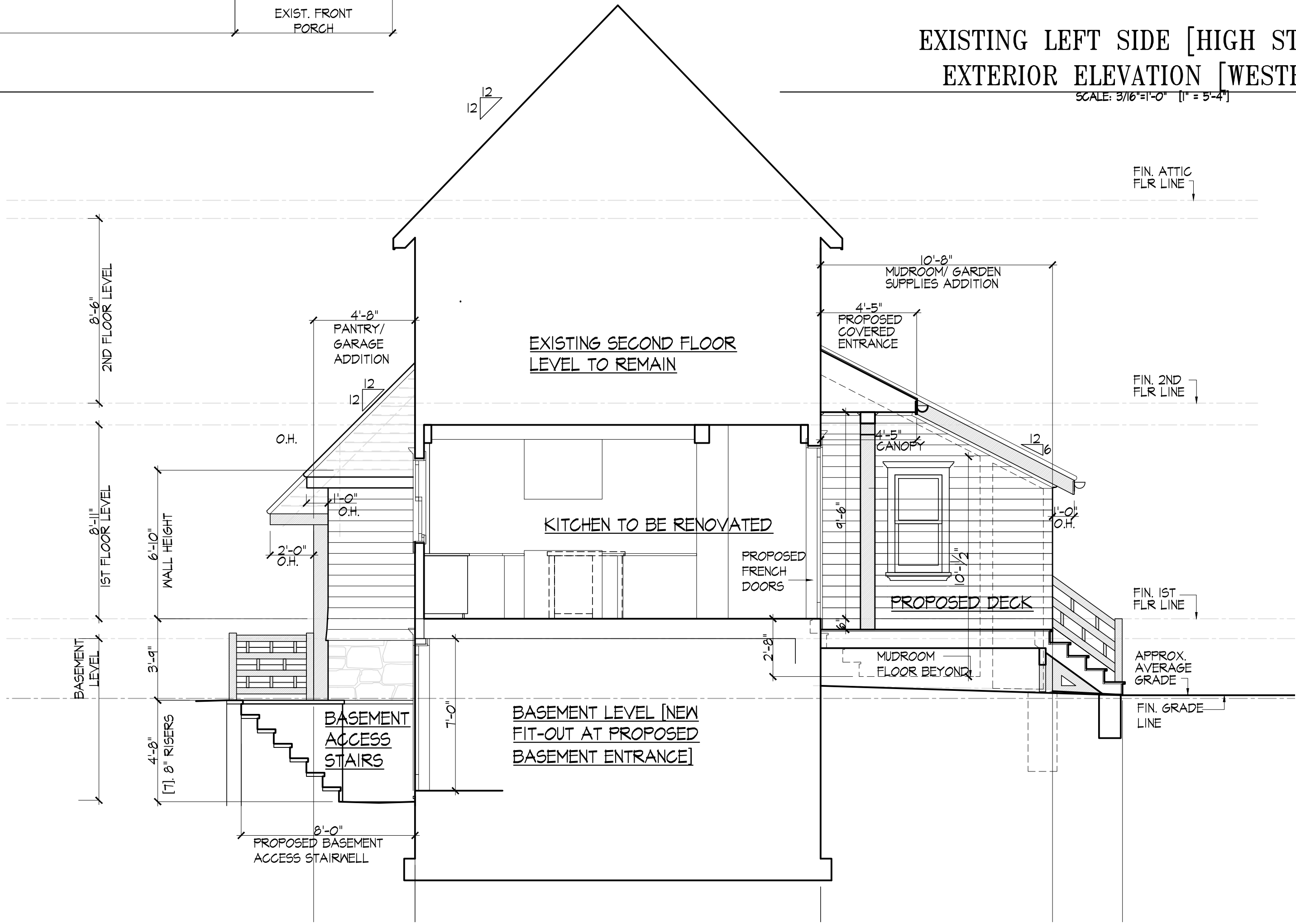
EXISTING LEFT SIDE [HIGH STREET] EXTERIOR ELEVATION [WESTERN]

SCALE: 3/16"=1'-0" [1"=5'-4"]



PARTIAL BASEMENT PLAN

SCALE: 1/4"=1'-0"



PROPOSED FRONT ELEVATION/ SECTION THRU KITCHEN [SOUTHERN]

SCALE: 1/4"=1'-0"

EXTERIOR FINISH NOTES

- FOUNDATION: EXTERIOR FOUNDATION ABOVE GRADE SHALL BE RECYCLED STONE FROM CURRENT AREAS TO BE DEMOLISHED.
- SIDING: ALL NEW SIDING SHALL BE CEDAR SHINGLES HAVING EXPOSURES TO MATCH EXISTING.
- ROOF: ALL NEW ROOF FINISHES SHALL BE SLATE TO MATCH EXISTING.
- TRIMWORK: ALL EXTERIOR TRIM SHALL BE WOOD OR SUITABLE COMPOSITE. ALL WINDOW CASING DESIGNS SHALL MATCH EXISTING.
- WINDOWS: ALL NEW WINDOWS SHALL BE WOOD AS MANUFACTURED BY "MARVIN" OR EQUIVALENT.
- ALL NEW RAILINGS SHALL MATCH THE RAILINGS AT FRONT PORCH. DIMENSIONAL WOOD RAILS WITH STAGGERED VERTICAL DOVELS. WHERE BUILDING CODES REQUIRE TIGHTER SPACING, THEN 3/8" METAL RODS WILL BE INSTALLED IN BETWEEN RAILS.
- GARAGE DOOR: SHALL BE PAINTED WOOD, CRAFTSMAN STYLE DESIGN WITH RAILS, STILES AND V-GROOVE PANELS, AND GLAZING WITH MUNTINS IN TOP SECTION.

DATE	PROGRESS
5/22/24	AS-BUILT
6/19/24	SCHEMATICS
10/21/24	UPDATED SCHEMATICS
11/5/24	REVIEW
12/3/24	REVIEW
4/14/25	PRINTED

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SEAL



PROPOSED RIGHT SIDE EXTERIOR ELEVATION [EASTERN]

SCALE: 1/4"=1'-0"



EXISTING RIGHT SIDE EXTERIOR ELEVATION [EASTERN]

SCALE: 3/16"=1'-0" (1"=5'-4")



PROPOSED REAR EXTERIOR ELEVATION [NORTHERN]

SCALE: 1/4"=1'-0"



EXISTING REAR EXTERIOR ELEVATION [NORTHERN]

SCALE: 3/16"=1'-0" (1"=5'-4")

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