

ZONING INFORMATION

Block: 2306	Lot: 10	RAMANATHAN RESIDENCE	
Use Group: R5	Zone: R-15	112 ESSEX ROAD	
Construction		SUMMIT, NJ	
Classification: V-B		12.23.2024	
	Required / Allowable	Existing	Proposed
Lot Area	15,000 sf	14,015 sf	NO CHANGE
Lot Width	90'	103'	NO CHANGE
Front Yard Setback	35'	47.1'	37.9'
Rear Yard Setback	40'	51.2'	47.8
Side Yard Setback	15'	17.6'/ 16.8'	17.6'/ 16.8'
Side Yard Combined	35% (36.1')	33.4%* (34.4')	33.4%** (34.4')
Lot Coverage	35.0% (4,905.3 sf)	28.1% (3,938.0 sf)	27.9% (3,906.0 sf)
Building Coverage	18% (2,522.7 sf)	15.2% (2,131.0 sf)	16.2% (2,270.0 sf)
Floor Area Ratio	25% (3,503.8 sf)	15.6% (2,180.0 sf)	23.3% (3,264.0 sf)
Number of Stories	2	1 1/2	2
Building Height	35'	22.8'	30.0'

F.A.R. Calculations:	Existing	Proposed	Total
First Floor	1,572.0 sf	128.0 sf	1,700.0 sf
Second Floor	608.0 sf	722.0 sf	1,330.0 sf
Attic	0.0 sf	234.0 sf	234.0 sf
Totals	2,180.0 sf	850.0 sf	3,264.0 sf
Area of disturbance = 460 SF	* existing nonconforming	** variance required	

AREA OF DISTURBANCE

New Foyer Addition	31 SF
New Portico	38 SF
Addition to Sunroom	97 SF
Existing Patio Removal	127 SF
New Patio Added	109 SF
Existing Front Walkway Removal	58 SF
Total	460 SF

The foyer addition replaces an existing landing. The portico addition replaces existing walkway area. The rear addition replaces existing patio area which is flat. Net decrease in impervious coverage.

LIST OF VARIANCES

- Combined Side Yard Setback

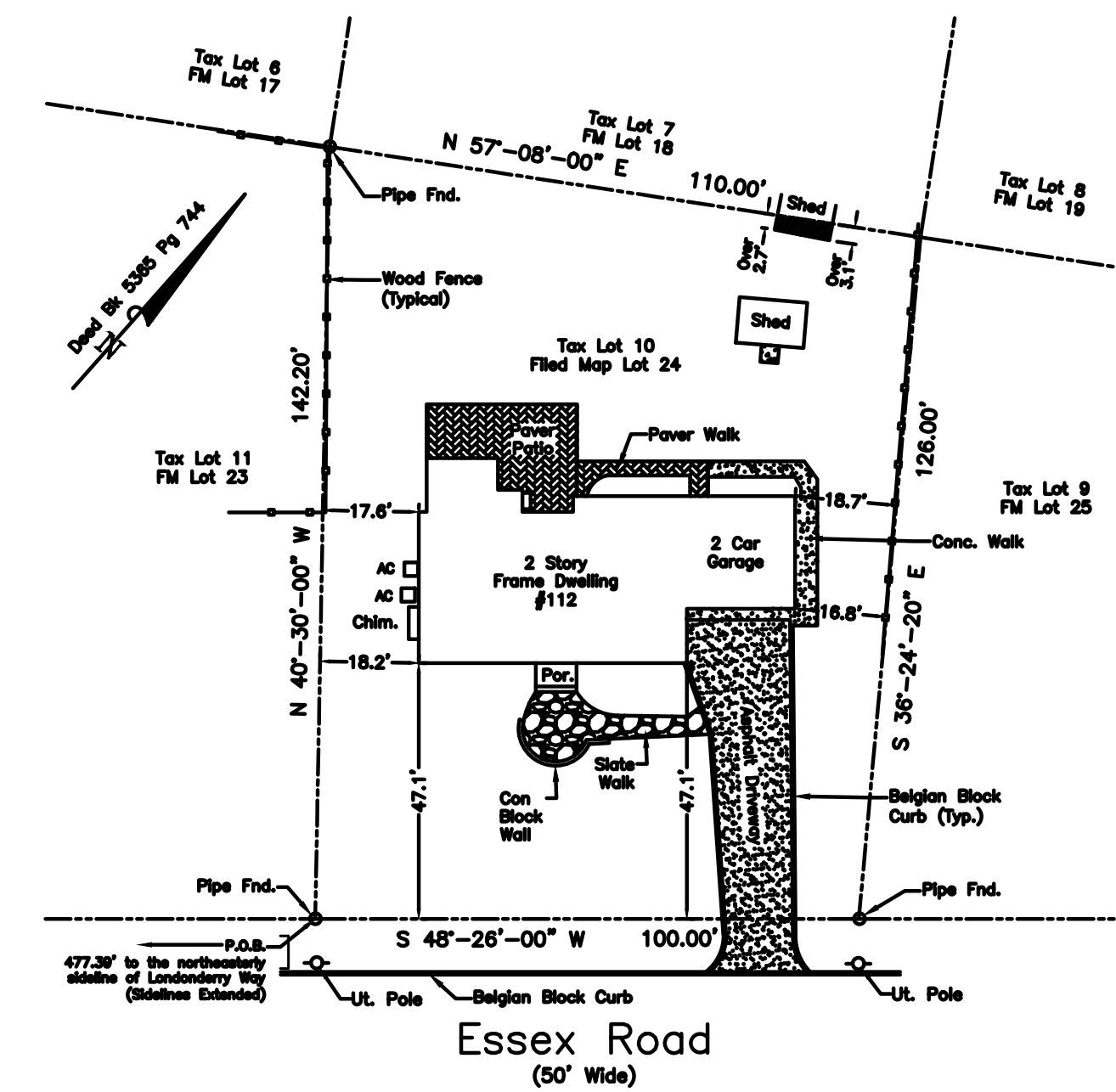
SITE PLAN NOTES

Information obtained from a survey by:

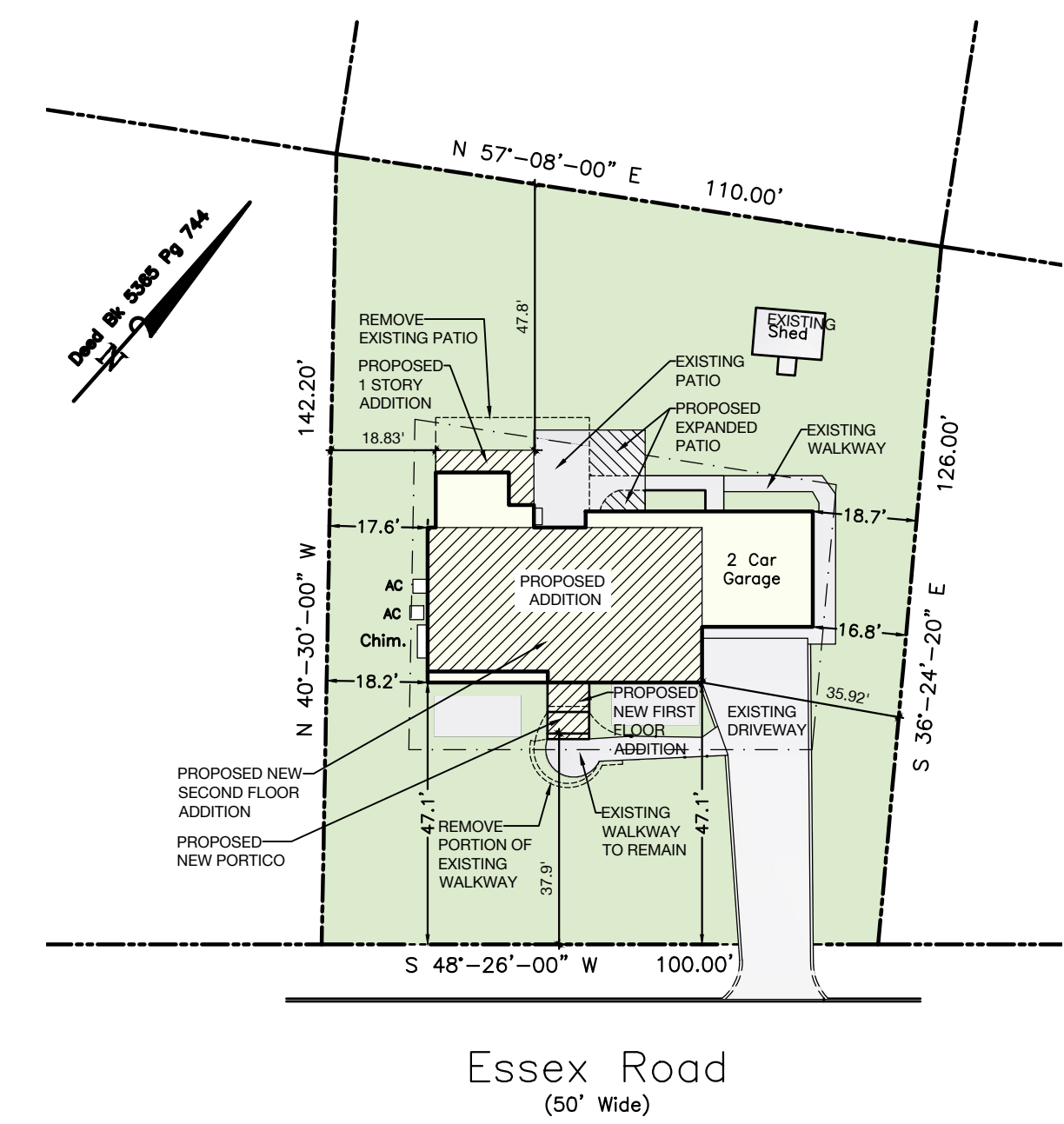
Schmidt Surveying
60 Hunting Drive, Sumont NJ 070628
Phone: (2010-403-5801
Andrew A. Schmidt
NJ Professional Land Surveyor
No. 24GS04330100

DRAWING LIST

- V-1 Zoning Information, Existing and Proposed Site Plans
- V-2 Existing First Floor Plan
- V-3 Proposed First Floor Plan
- V-4 Existing Second Floor Plan
- V-5 Proposed Second Floor Plan
- V-6 Existing Front Elevation, Existing Left Side Elevation
- V-7 Proposed Front Elevation, Proposed Left Side Elevation
- V-8 Existing Rear Elevation, Existing Right Side Elevation
- V-9 Proposed Left Elevation, Proposed Left Elevation



1
V-1
EXISTING SITE PLAN
SCALE: 1" = 30'



2
V-1
PROPOSED SITE PLAN
SCALE: 1" = 30'

ROSEN
KELLY
CONWAY

DAVID M. ROSEN, AIA, LEED AP
NJ - AI 08664 NY - 025464 NH - 04878

JOHN H. KELLY, JR., AIA, LEED AP
NJ - AI 11116

THOMAS A. CONWAY, AIA, LEED AP
NJ - AI 17846

16 Maple Street Summit NJ 07901
908 273 6565 rkcad.com

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Description Date

RAMANATHAN RESIDENCE
112 ESSEX ROAD
SUMMIT, NJ

ZONING INFORMATION, EXISTING
AND PROPOSED SITE PLANS

V-1

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KELLY
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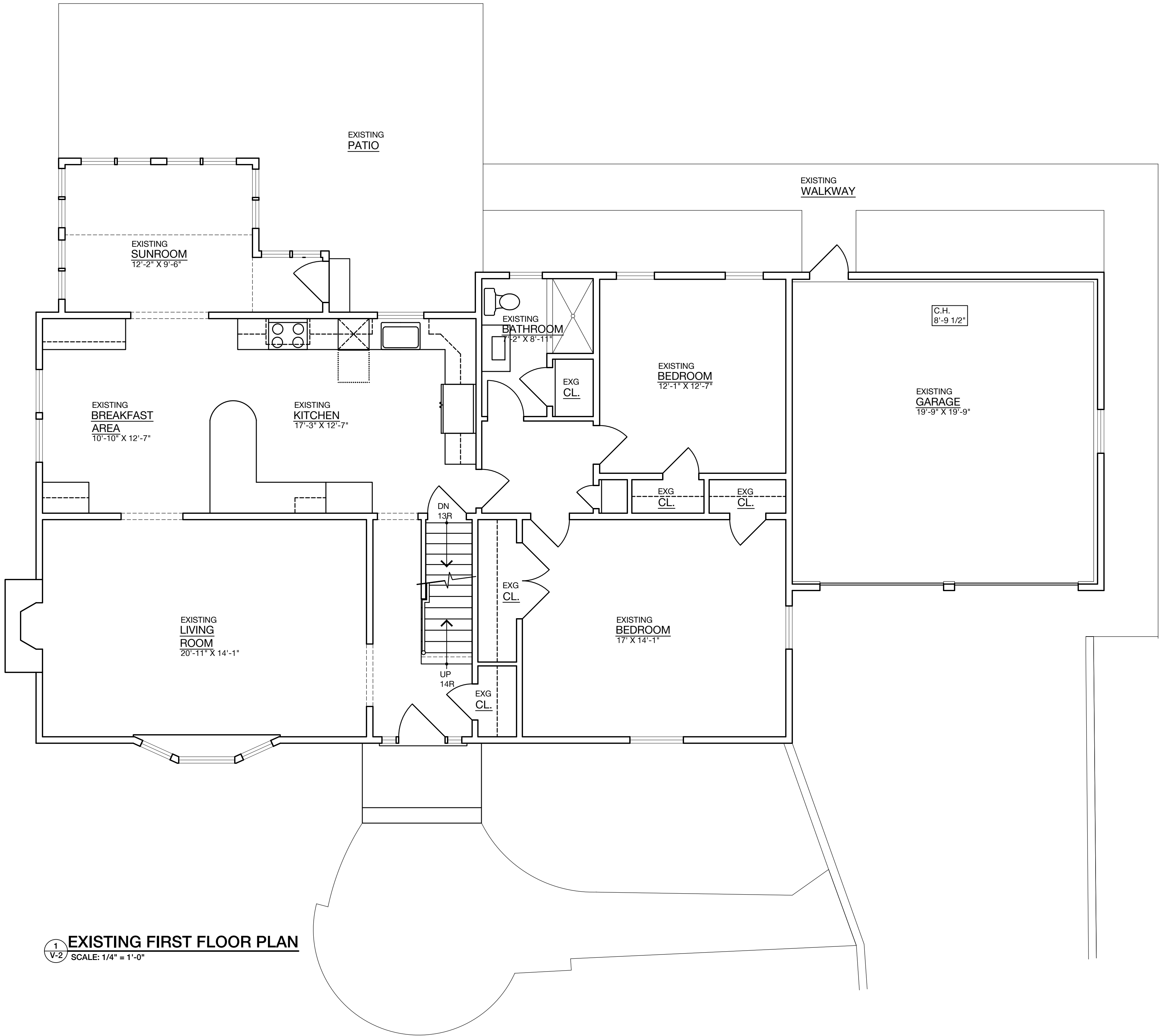
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RAMANATHAN RESIDENCE
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EXISTING FIRST FLOOR PLAN

V-2



1
V-2
EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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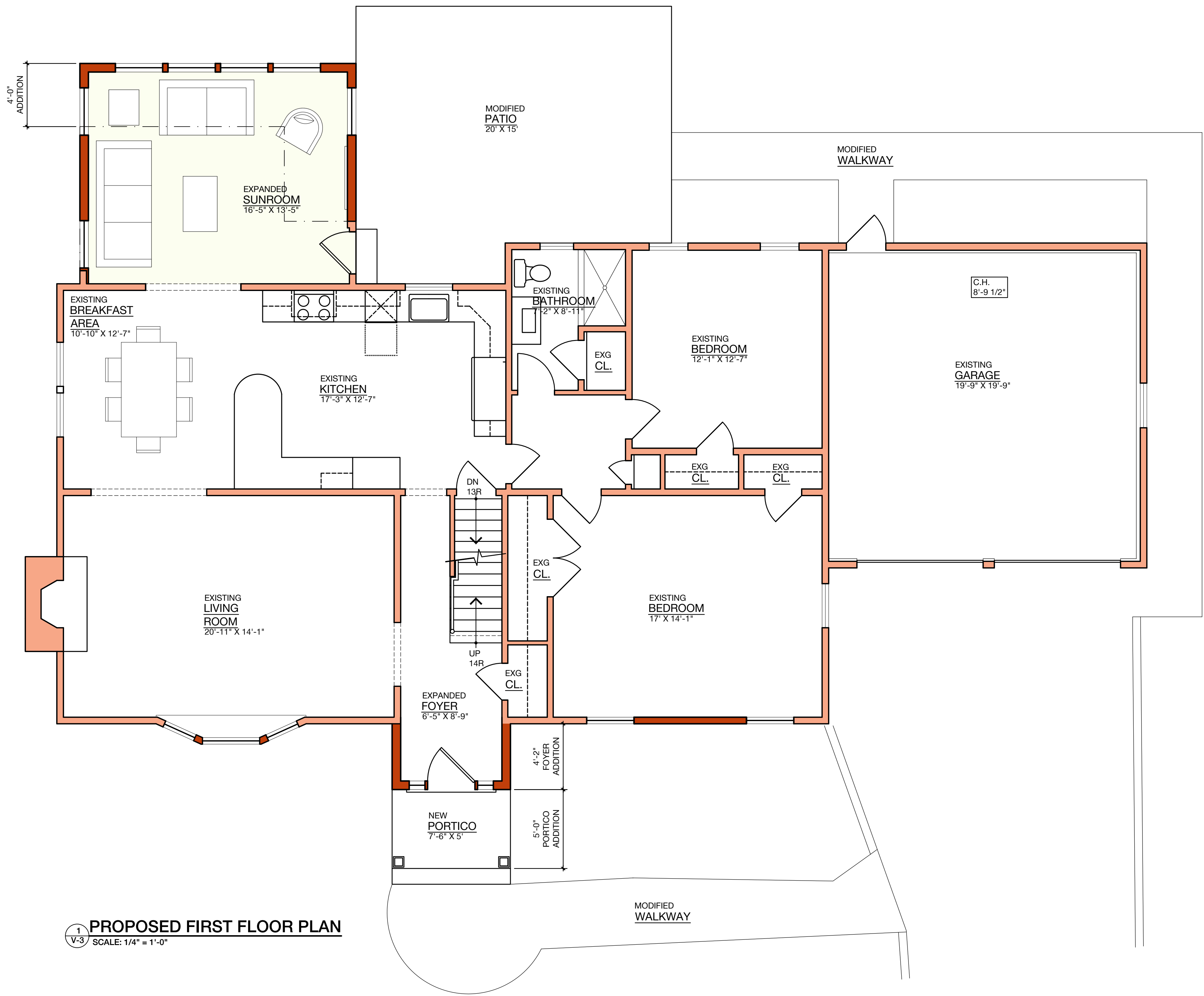
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RAMANATHAN RESIDENCE
112 ESSEX ROAD
SUMMIT, NJ

PROPOSED FIRST FLOOR PLAN

V-3



1
V-3
PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

KEY	
	Addition Areas
	Existing Walls
	New Walls

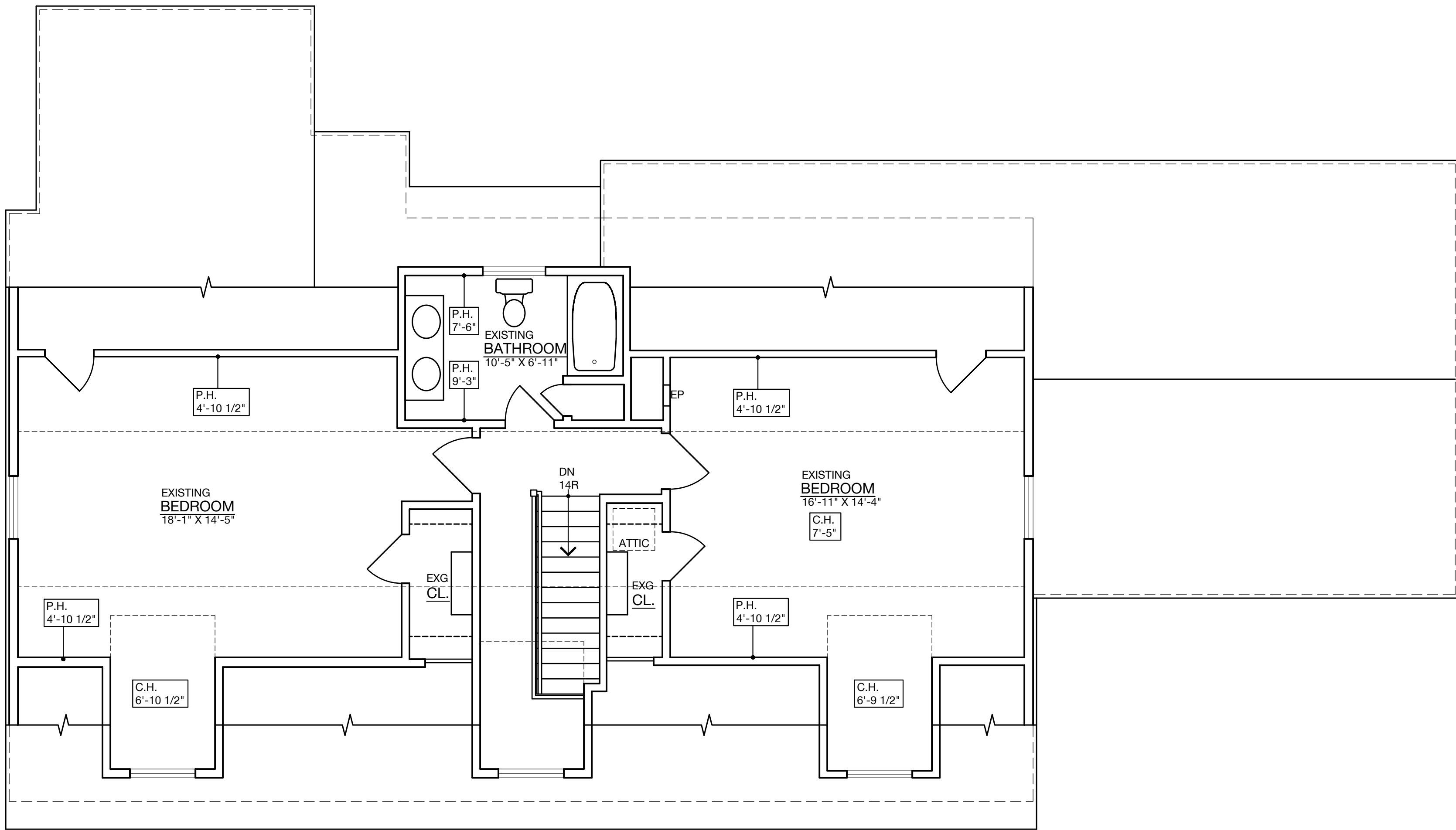
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1 EXISTING SECOND FLOOR PLAN
V-4 SCALE: 1/4" = 1'-0"

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EXISTING SECOND FLOOR PLAN

V-4

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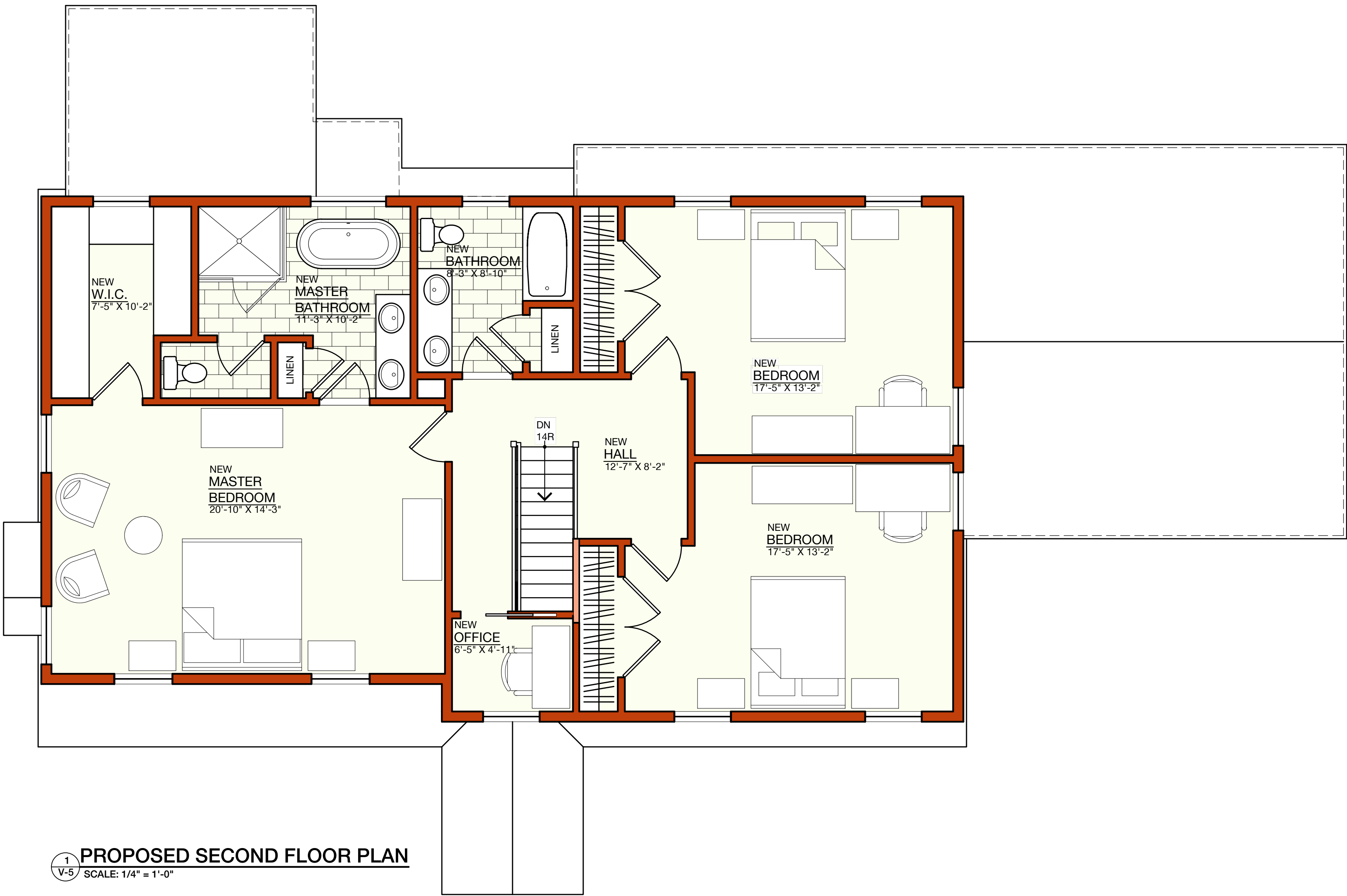
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RAMANATHAN RESIDENCE
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PROPOSED SECOND FLOOR PLAN

V-5



1 PROPOSED SECOND FLOOR PLAN
V-5 SCALE: 1/4" = 1'-0"

KEY

Addition Areas

Existing Walls

New Walls

ROSEN
KELLY
CONWAY

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1 **EXISTING FRONT ELEVATION**
V-6 SCALE: 1/4" = 1'-0"



2 **EXISTING LEFT SIDE ELEVATION**
V-6 SCALE: 1/4" = 1'-0"

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RAMANATHAN RESIDENCE
112 ESSEX ROAD
SUMMIT, NJ

EXISTING FRONT ELEVATION AND
EXISTING LEFT SIDE ELEVATION

V-6

ROSEN
KELLY
CONWAY

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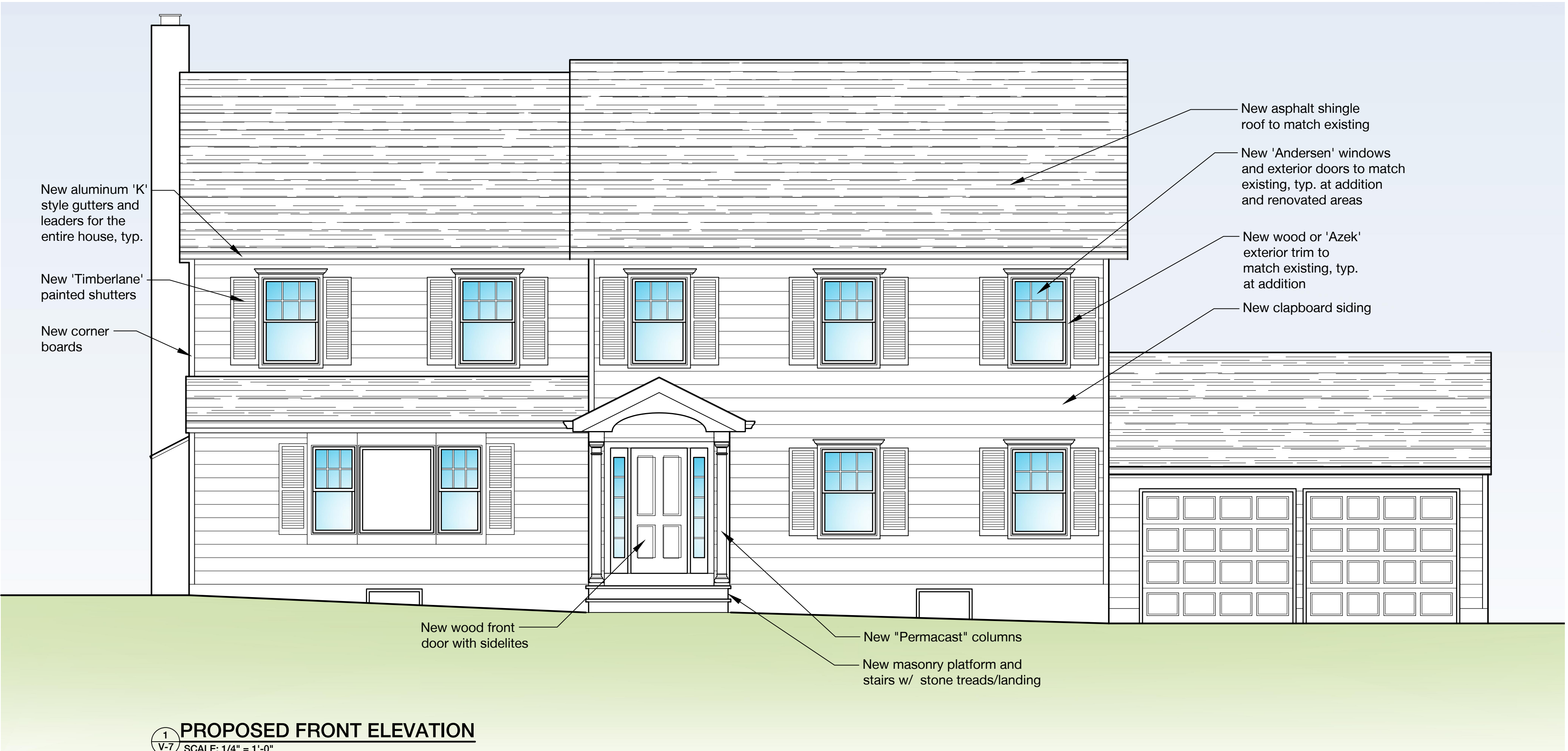
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RAMANATHAN RESIDENCE
112 ESSEX ROAD
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PROPOSED FRONT AND LEFT
SIDE ELEVATIONS

V-7



ROSEN
KELLY
CONWAY

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RAMANATHAN RESIDENCE
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EXISTING REAR ELEVATIONS
EXISTING RIGHT SIDE ELEVATION

V-8



1 EXISTING REAR ELEVATION
V-8 SCALE: 1/4" = 1'-0"



2 EXISTING RIGHT SIDE ELEVATION
V-8 SCALE: 1/4" = 1'-0"

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RAMANATHAN RESIDENCE
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PROPOSED REAR & RIGHT SIDE
ELEVATIONS

V-9



1
V-9
PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"



2
V-9
PROPOSED RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"