

# BEACON UNITARIAN UNIVERSALIST CONGREGATION

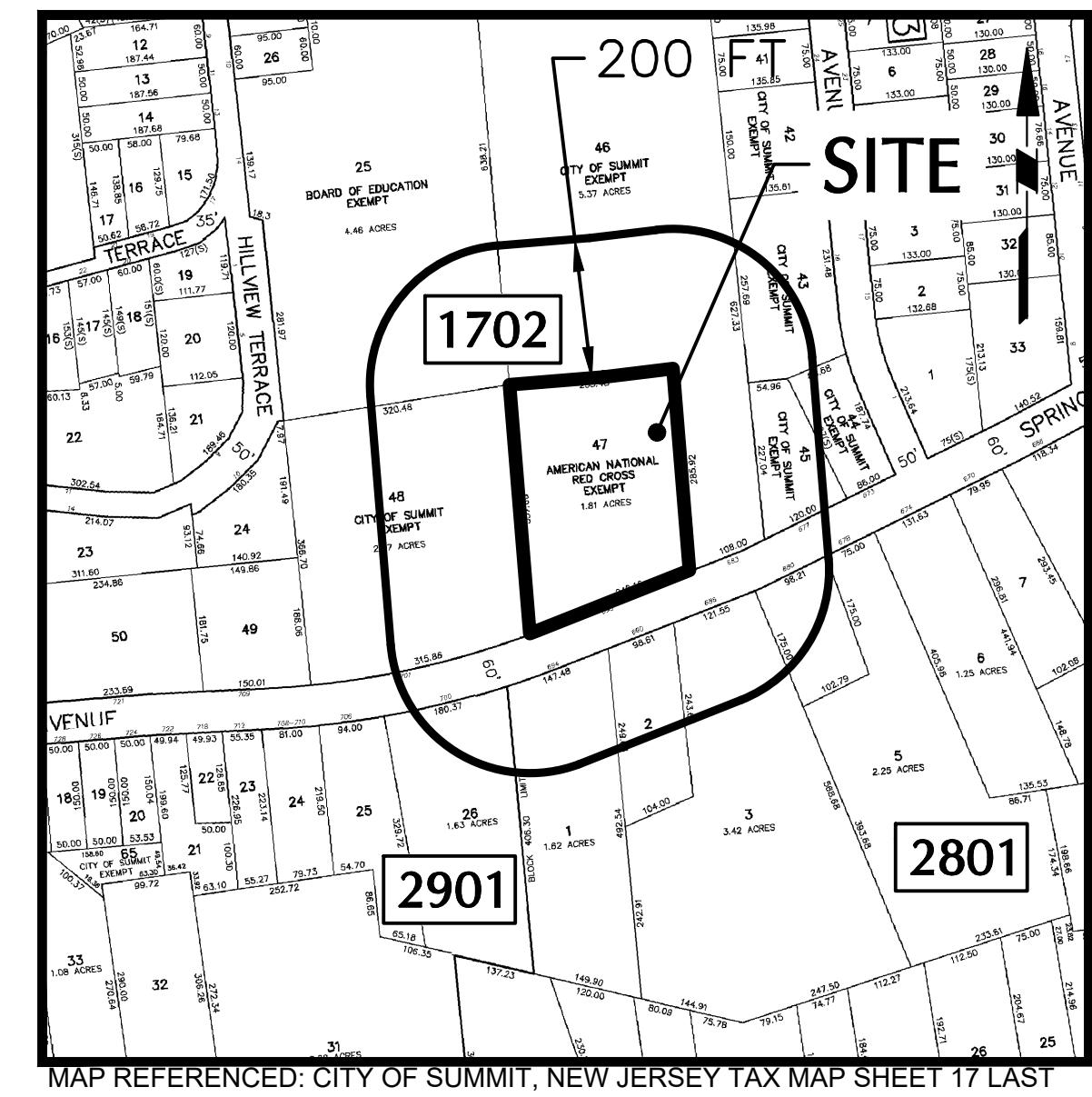
## PRELIMINARY & FINAL SITE PLANS

### BLOCK No. 1702, LOT No. 47

### CITY OF SUMMIT, UNION COUNTY, NEW JERSEY

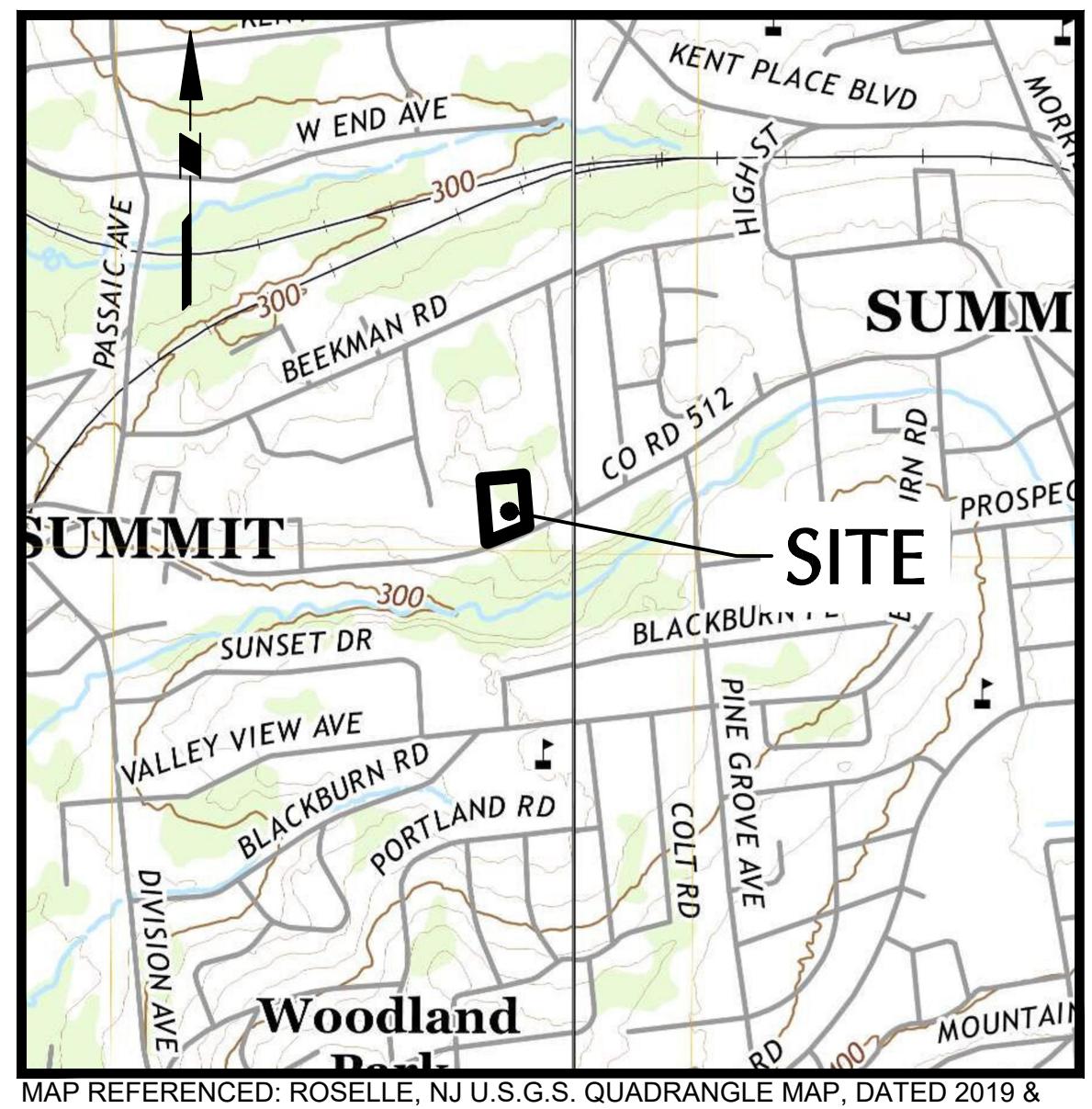
#### GENERAL SITE NOTES:

1. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION AS SUCH. THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC CONTRACT REQUIREMENTS FOR CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
2. THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUANTITY AND QUALITY OF WORK BEING DONE BY OWNER AND ENGINEER MAKING NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY INFORMATION THAT WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS; CORRELATE CONDITIONS WITH THE DRAWINGS AND, RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PERFORM ADDITIONAL TOPOGRAPHIC SURVEYS HE/SHE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
3. THE CONTRACTOR SHALL, WHEN HE/SHE DEEMS NECESSARY, PROVIDE A WRITTEN REQUEST FOR INFORMATION (RFI) TO THE OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITework ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF THREE WORK DAYS FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITework ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
4. INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND OTHER INFORMATION IN THE CONTRACT DOCUMENTS TO CORRELATE THESE ELEVATIONS AND INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO BID.
5. THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFIC PLANS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
6. CONTRACTOR IS SPECIFICALLY CAUTIONED THAT ALL CONSTRUCTION STAKEOUT FOR THIS PROJECT MUST BE COMPLETED FROM THE SITE SPECIFIC SURVEY CONTROL (HORIZONTAL AND VERTICAL) UPON WHICH THE DESIGN IS BASED. THE CONTRACTOR SHOULD NOT RELY ON OR RE-ESTABLISH SURVEY CONTROL BY GPS OR OTHER METHODS FOR USE IN CONSTRUCTION STAKEOUT OR ANY OTHER PURPOSE FOR THIS PROJECT. ANY DISCREPANCIES BETWEEN THE HORIZONTAL OR VERTICAL DATA SHOWN ON THESE DRAWINGS AND THAT ENCOUNTERED IN THE FIELD MUST BE REPORTED TO THE DESIGN TEAM PRIOR TO CONSTRUCTION FOR RESOLUTION.



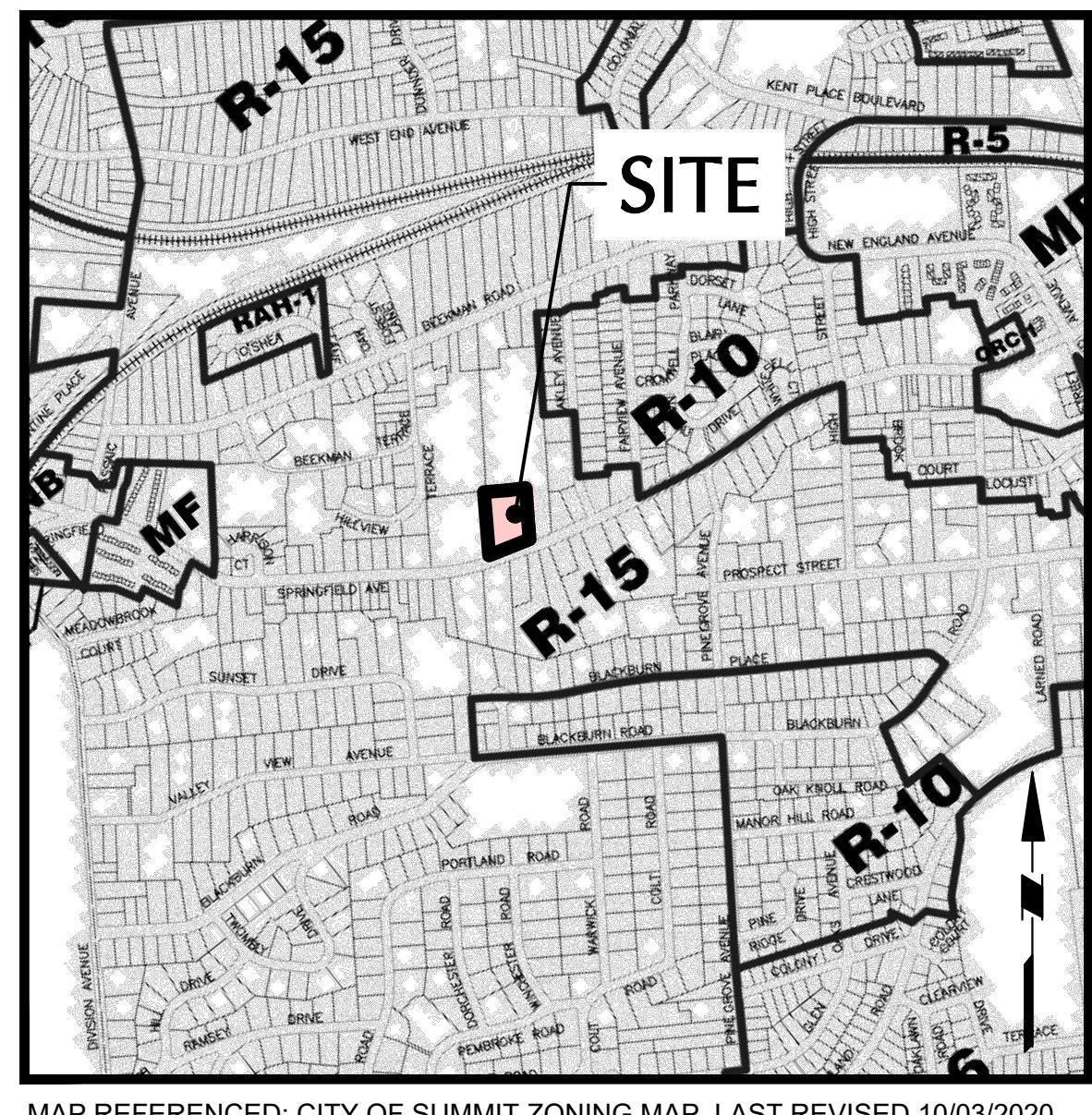
**TAX MAP**

SCALE: 1" = 250'



**LOCATION MAP**

SCALE: 1" = 1,000'



**ZONING MAP**

SCALE: 1" = 1,000'

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7/01/25	REVISED PER CITY COMMENTS	3
5/22/25	REVISED PER CITY COMMENTS	2
07/18/24	REVISED PER TRC COMMENTS	1
Date	Description	No.
Revisions		

SIGNATURE JOHN COTE DATE  
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**LANGAN**

Langan Engineering and  
Environmental Services, LLC  
300 Kimball Drive  
Parsippany, NJ 07054

T: 973.560.4900 F: 973.560.4901 www.langan.com

Project

**BEACON UNITARIAN  
UNIVERSALIST  
CONGREGATION**  
SUMMIT  
NEW JERSEY

UNION COUNTY  
Drawing Title

**COVER SHEET**

Project No.	Drawing No.
101007201	GI001
Date	
FEBRUARY 9, 2024	
Drawn By	
SS	
Checked By	
TH	
Sheet 1 of 19	

200' PROPERTY OWNERS LIST					
BLOCK	LOT	PROPERTY ADDRESS	OWNER	OWNER ADDRESS	CITY / STATE / ZIP
1702	25	14 BEEKMAN TERRACE	BOARD OF EDUCATION	90 MAPLE STREET	SUMMIT NJ 07901
1702	43	16 OAKLEY AVENUE	CITY OF SUMMIT	512 SPRINGFIELD AVE	SUMMIT NJ 07901
1702	44	673 SPRINGFIELD AVENUE	CITY OF SUMMIT	512 SPRINGFIELD AVE	SUMMIT NJ 07901
1702	45	677 SPRINGFIELD AVENUE	CITY OF SUMMIT	512 SPRINGFIELD AVE	SUMMIT NJ 07901
1702	46	683 SPRINGFIELD AVENUE	CITY OF SUMMIT	512 SPRINGFIELD AVE	SUMMIT NJ 07901
1702	48	701 SPRINGFIELD AVENUE	CITY OF SUMMIT	512 SPRINGFIELD AVE	SUMMIT NJ 07901
2801	1	694 SPRINGFIELD AVENUE	AGGARWAL, ALKA & SINGH, SURENDRA	694 SPRINGFIELD AVE	SUMMIT NJ 07901
2801	2	690 SPRINGFIELD AVENUE	RANGANATHAN, RAGHAV & KULKAMI, R	690 SPRINGFIELD AVE	SUMMIT NJ 07901
2801	3.01	684 SPRINGFIELD AVENUE	KHADEMI, ALLEN M & HILLARY J	684 SPRINGFIELD AVE	SUMMIT NJ 07901
2801	3.02	686 SPRINGFIELD AVENUE	COGAN, DAVID & CHRISTINA	686 SPRINGFIELD AVE	SUMMIT NJ 07901
2801	4	680 SPRINGFIELD AVENUE	PAREKH, APARNA	680 SPRINGFIELD AVE	SUMMIT NJ 07901
2801	5	678 SPRINGFIELD AVENUE	BOND, BRETT D & CAROLAN, MONICA	678 SPRINGFIELD AVE	SUMMIT NJ 07901
2901	26	700 SPRINGFIELD AVENUE	LOWENTHAL, J. MARVIN & ELLEN TCHORNI	700 SPRINGFIELD AVE	SUMMIT NJ 07901

APPROVED BY THE  
CITY OF SUMMIT PLANNING BOARD

SIGNATURE CHAIRMAN DATE

APPROVED BY THE  
COUNTY PLANNING BOARD  
COUNTY OF UNION, NEW JERSEY

SIGNATURE SECRETARY DATE

ATTESTED BY DATE  
Director, Dept. of Planning & Economic Development

TITLE

SIGNATURE ENGINEER DATE

SHEET NUMBER	DRAWING NUMBER	DRAWING TITLE	DRAWING SCALE	DATE	REVISION DATE
1	L-100	SITE MATERIAL PLAN	1" = 20'	2/8/2024	6/11/2024
2	L-500	SITE DETAILS	N.T.S.	2/8/2024	6/11/2024
3	L-501	SITE DETAILS	N.T.S.	2/8/2024	6/11/2024
4	L-502	SITE DETAILS	N.T.S.	2/8/2024	6/11/2024
5	L-503	SITE DETAILS	N.T.S.	2/8/2024	6/11/2024
6	LP100	TREE PRESERVATION PLAN	1" = 20'	2/8/2024	6/11/2024
7	LP101	TREE & SHRUB PLANTING PLAN	1" = 20'	2/8/2024	6/11/2024
8	LP102	PHASE 1 GRASS & PERENNIAL PLANTING PLAN	1" = 20'	2/8/2024	6/11/2024
9	LP103	PHASE 2 GRASS & PERENNIAL PLANTING PLAN	1" = 20'	2/8/2024	6/11/2024
10	LP500	PLANTING DETAILS	N.T.S.	2/8/2024	6/11/2024

SHEET NUMBER	DRAWING NUMBER	DRAWING TITLE	DRAWING SCALE	DATE	REVISION DATE
1	A-100	FAR CALCULATION	1/16" = 1'	7/18/2024	-
2	A-201	EXTERIOR ELEVATIONS	1/8" = 1'	2/9/2024	7/18/2024
3	A-202	EXTERIOR ELEVATIONS	1/8" = 1'	2/9/2024	7/18/2024
4	A-203	EXTERIOR ELEVATIONS	1/8" = 1'	2/9/2024	7/18/2024
5	A-204	EXTERIOR ELEVATIONS	1/8" = 1'	2/9/2024	7/18/2024

CALL BEFORE YOU DIG TO LOCATE UNDERGROUND UTILITIES

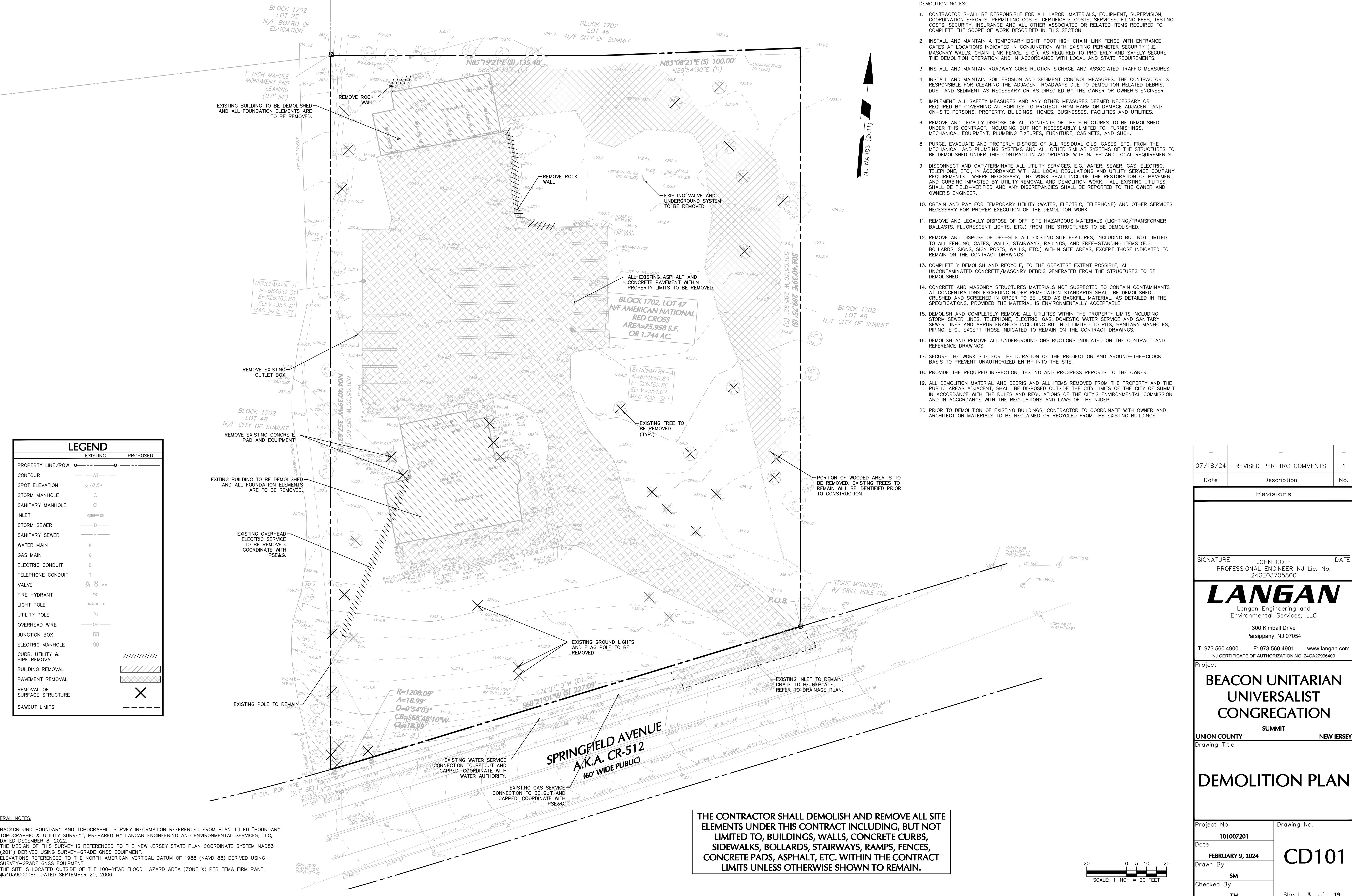
1 (800) 272-1000

FOR FREE MARKOUTS TO LOCATE UNDERGROUND UTILITIES

CALL AT LEAST 3 DAYS PRIOR TO GROUND DISTURBANCE

CALL BEFORE YOU DIG

Date: 7/1/2025 Time: 16:42 User: jathanthan Style Table: Langan.sbt Layout: GI101 Document Code: 101007201-0301-GI101-0101



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07/18/24	REVISED PER TRC COMMENTS	1
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Project

**BEACON UNITARIAN UNIVERSALIST CONGREGATION**  
SUMMIT  
NEW JERSEY

Drawing Title

**DEMOLITION PLAN**

Project No.	Drawing No.
101007201	
Date	
FEBRUARY 9, 2024	
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TH	
Sheet 3 of 19	

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SCALE: 1 INCH = 20 FEET

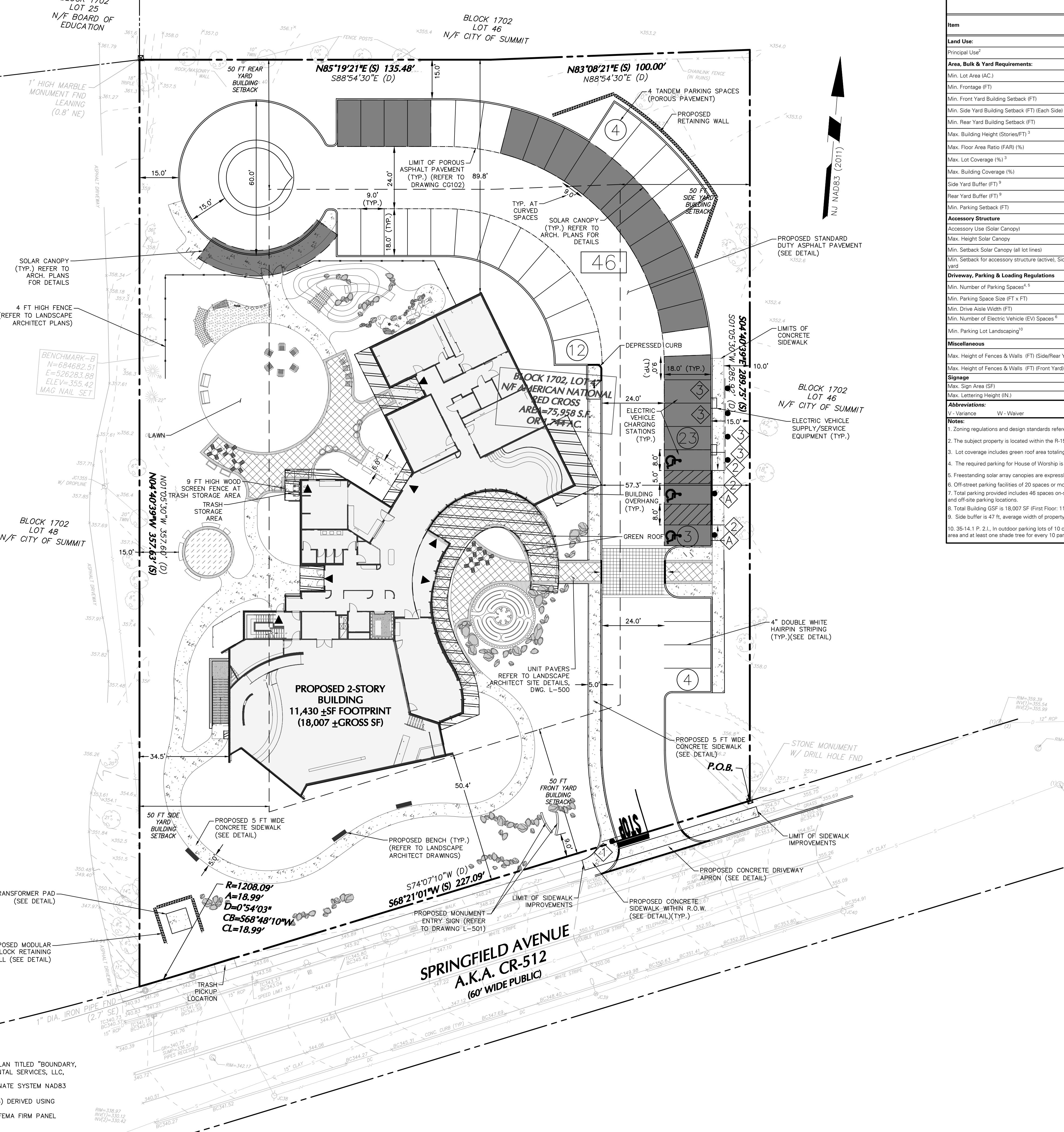
CITY OF SUMMIT ZONING TABLE  
695 SPRINGFIELD AVENUE REDEVELOPMENT  
BLOCK No. 1702, LOT No. 47

ZONING DISTRICT: R-15 SINGLE FAMILY RESIDENTIAL DISTRICT<sup>2</sup>

Item	Required / Allowed	Existing	Proposed	Regulation Reference <sup>12</sup>	Condition
<b>Land Use:</b>					
Principal Use <sup>3</sup>		House of Worship	Office	House of Worship	35-13.3 B.3.
Area, Bulk & Yard Requirements:					
Min. Lot Area (AC.)	2 AC.	1.74 AC.	1.74 AC.	35-11.2.C.1.	V
Min. Frontage (FT)	50 FT	246.1 FT	246.1 FT	35-11.2.C.2.	C
Min. Front Yard Building Setback (FT)	50 FT	91.8 FT	50.4 FT	35-11.2.C.3.	C
Min. Side Yard Building Setback (FT) (Each Side)	50 FT	26.8 FT	34.5 FT	35-11.2.C.4.	V
Min. Rear Yard Building Setback (FT)	50 FT	181.8 FT	89.8 FT	35-11.2.C.5.	C
Max. Building Height (Stories/FT) <sup>3</sup>	2 STORY / 35 FT	2 STORY / < 35 FT	2 STORY / 37.9 FT	35-9.4 Appendix C	V
Max. Floor Area Ratio (FAR) (%)	25%	N/A	23.7%	35-9.4 Appendix C	C
Max. Lot Coverage (%) <sup>3</sup>	40%	30.1%	48.7%	35-11.2.C.9.	V
Max. Building Coverage (%)	15%	4%	16.2%	35-11.2.C.10.	V
Side Yard Buffer (FT) <sup>9</sup>	47 FT	N/A	9.8 FT	35-11.2.C.7.	V
Rear Yard Buffer (FT) <sup>9</sup>	50 FT	N/A	15 FT	35-11.2.C.8.	V
Min. Parking Setback (FT)	20 FT	N/A	15 FT	35-11.2.C.12.	V
<b>Accessory Structure:</b>					
Accessory Use Solar Canopy	N/A	N/A	Solar Canopy <sup>5</sup>	35-9.9.O.4.a.	V
Max. Height Solar Canopy	18 FT	N/A	< 18 FT	35-9.9.O.4.d.	C
Min. Setback Solar Canopy (all lot lines)	15 FT	N/A	15 FT	35-9.9.O.4.e.	C
Min. Setback for accessory structure (active), Side/Rear yard	15 FT	N/A	15 FT	35-9.8.B.5.	C
<b>Driveway, Parking &amp; Loading Regulations:</b>					
Min. Number of Parking Spaces <sup>4,5</sup>	79	27	46 <sup>7</sup>	35-14.1.P.6.a.	V
Min. Parking Space Size (FT x FT)	9 FT x 18 FT	9 FT x 18 FT	9 FT x 18 FT	35-14.1.P.10.a.	C
Min. Drive Aisle Width (FT)	23 FT	23.3 FT	24 FT	35-14.1.P.10.a.	C
Min. Number of Electric Vehicle (EV) Spaces <sup>6</sup>	4	N/A	4	35-9.9.E.2.	C
Min. Parking Lot Landscaping <sup>10</sup>	1 Shade Tree / 10 Spaces	-	0	35-14.1.P.2.1.	V
<b>Miscellaneous:</b>					
Max. Height of Fences & Walls (FT) (Side/Rear Yard)	7 FT	N/A	4 FT	35-14.1.K.5.a.	C
Max. Height of Fences & Walls (FT) (Front Yard)	4 FT	N/A	4 FT	35-14.1.K.5.a.1.	C
<b>Signage:</b>					
Max. Sign Area (SF)	12 SF	-	≤ 12 SF	35-14.1.S. Appendix D	C
Max. Lettering Height (IN.)	6"	-	≤ 6"	35-14.1.S. Appendix D	C
<b>Abbreviations:</b>					
V- Variance W- Waiver C- Compliance				NC- Existing Nonconformity N/A- Not Applicable	
<b>Notes:</b>					
1. Zoning regulations and design standards referenced from City of Summit Development Regulations: Chapter 35, dated 12/01/2020.					
2. The subject property is located within the R-15 Single Family Residential Zone. House of Worship is a conditional use in the R-15 Zone. House of Worship conditional use regulations 35-11.2.C.					
3. Lot coverage includes green roof area totaling approximately 2,320 ±SF.					
4. The required parking for House of Worship is 1 Space per 3 seats or 1 space per 10 SF of Gross Floor Area, whichever is greater. Proposed facility includes 236 seat Sanctuary.					
5. Freestanding solar array canopies are expressly prohibited in residential zones (35-9.9.O.4.a). Variance requested for four proposed solar canopy structures.					
6. Off-site parking lots of 20 spaces or more, a minimum of 7% of such spaces shall contain facilities for EV charging.					
7. Total parking provided includes 46 spaces on-site and 33 off-site parking spaces located along the north side of Springfield Avenue. Total 79 parking spaces can be provided between on-site and off-site parking locations.					
8. Total Building GSF is 18,007 SF (First Floor: 11,430 SF; Second Floor: 3,388 SF; Basement: 3,189 SF).					
9. Side buffer is 47 ft, average width of property is 235 ft. Rear buffer is 50 ft, average depth of the property is 321 ±ft.					
10. 35-14.1.P.2.1. In outdoor parking lots of 10 or more spaces, at least 10% of the parking area shall be suitably landscaped, including landscape plantings around the perimeter of the parking area and at least one shade tree for every 10 parking spaces. The project proposes solar canopies above parking spaces which provide shade and reduce heat island effect.					

LEGEND	
EXISTING	PROPOSED
PROPERTY LINE/ROW	
BUILDING LINE	
BUILDING OVERHANG	
SETBACK LINE	
CURB LINE	
ADA ACCESSIBLE RAMP	
ADA SYMBOL	
TRAFFIC SIGN	
SIGN DESIGNATION	
PARKING ROW COUNT	
PARKING COUNT SUB-TOTAL	
DIRECTION ARROW	
STOP BAR	
RETAINING WALL	
FENCE	
GUIDE RAIL	
CROSSWALK (STRIPING)	
CONCRETE SIDEWALK	
MANHOLE	
CATCH BASIN	
FIRE HYDRANT	
LIGHT POLE	
TREE	
SOLAR CANOPY	

SIGN LEGEND				
QTY.	SIGN TYPE	SIGN #	SIGN CODE	LEGEND
1	STOP SIGN	R1-1		
3	ACCESSIBLE PARKING	R7-8 AND R7-8P		
2	VAN ACCESSIBLE SPACE	R7-8P 12'X6"		
4	NO PARKING EXCEPT WHILE CHARGING	R7-113		
	ELECTRIC VEHICLE CHARGING	D9-11b		



GENERAL NOTES:

1. BACKGROUND BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION REFERENCED FROM PLAN TITLED "BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY", PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, LLC, DATED DECEMBER 8, 2022.
2. THE MEDIAN OF THIS SURVEY IS REFERENCED TO THE NEW JERSEY STATE PLAN COORDINATE SYSTEM NAD83 (2011) DERIVED USING SURVEY-GRADE GNSS EQUIPMENT.
3. ELEVATIONS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) DERIVED USING SURVEY-GRADE GNSS EQUIPMENT.
4. THE SITE IS LOCATED OUTSIDE OF THE 100-YEAR FLOOD HAZARD AREA (ZONE X) PER FEMA FIRM PANEL #34039C0008F, DATED SEPTEMBER 20, 2006.

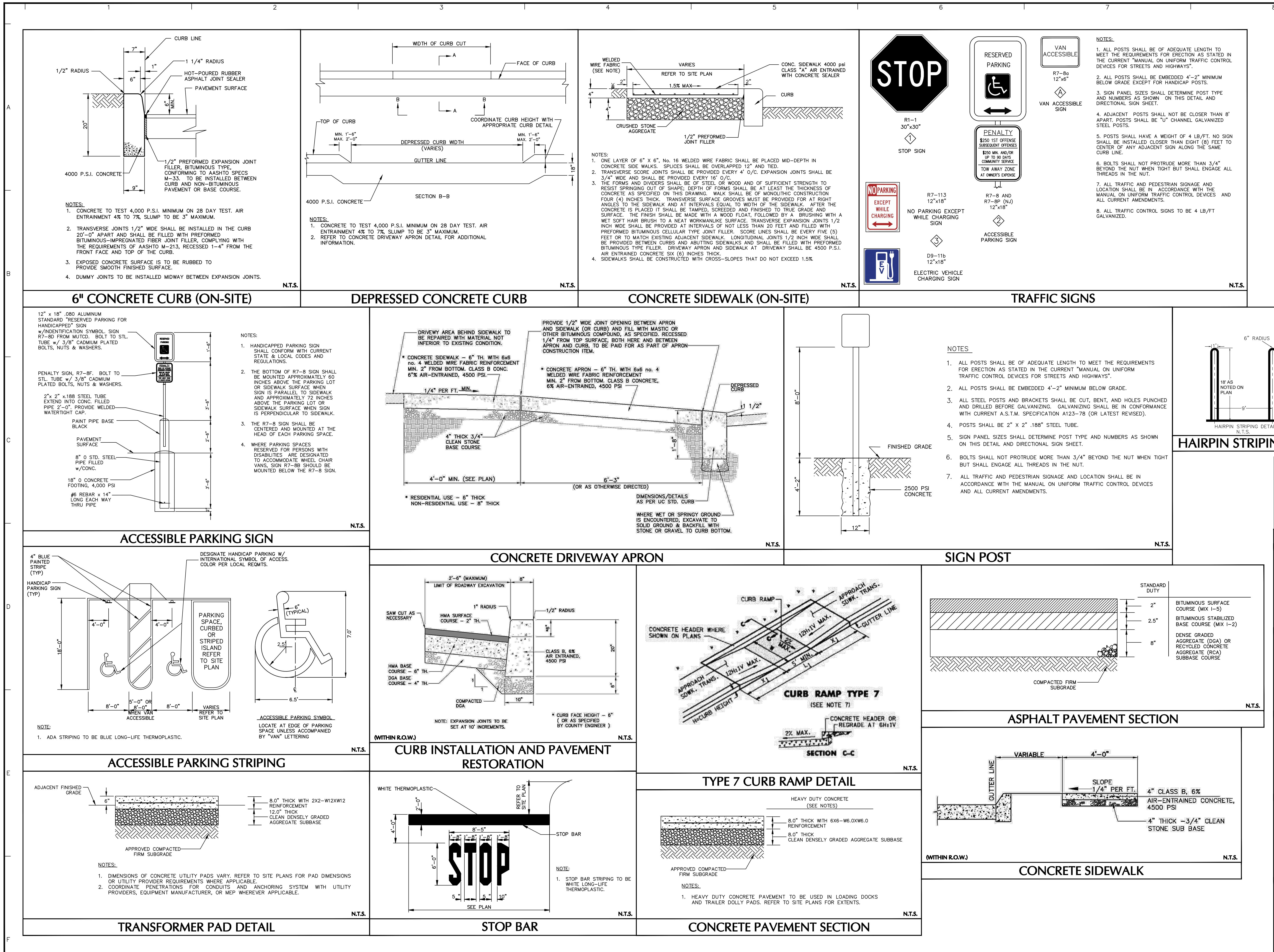
7/01/25	REVISED PER CITY COMMENTS	3
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300 Kimball Drive  
Parsippany, NJ 07054  
T: 973.560.4900 F: 973.560.4901 www.langan.com  
NJ CERTIFICATE OF AUTHORIZATION NO. 24GA27996400

Project  
BEACON UNITARIAN UNIVERSALIST CONGREGATION  
SUMMIT  
UNION COUNTY  
Drawing Title  
NEW JERSEY

Site Plan  
Project No. 101007201 Drawing No. CS101  
Date FEBRUARY 9, 2024 Drawn By SM Checked By TH  
Sheet 4 of 19  
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Date Description No.

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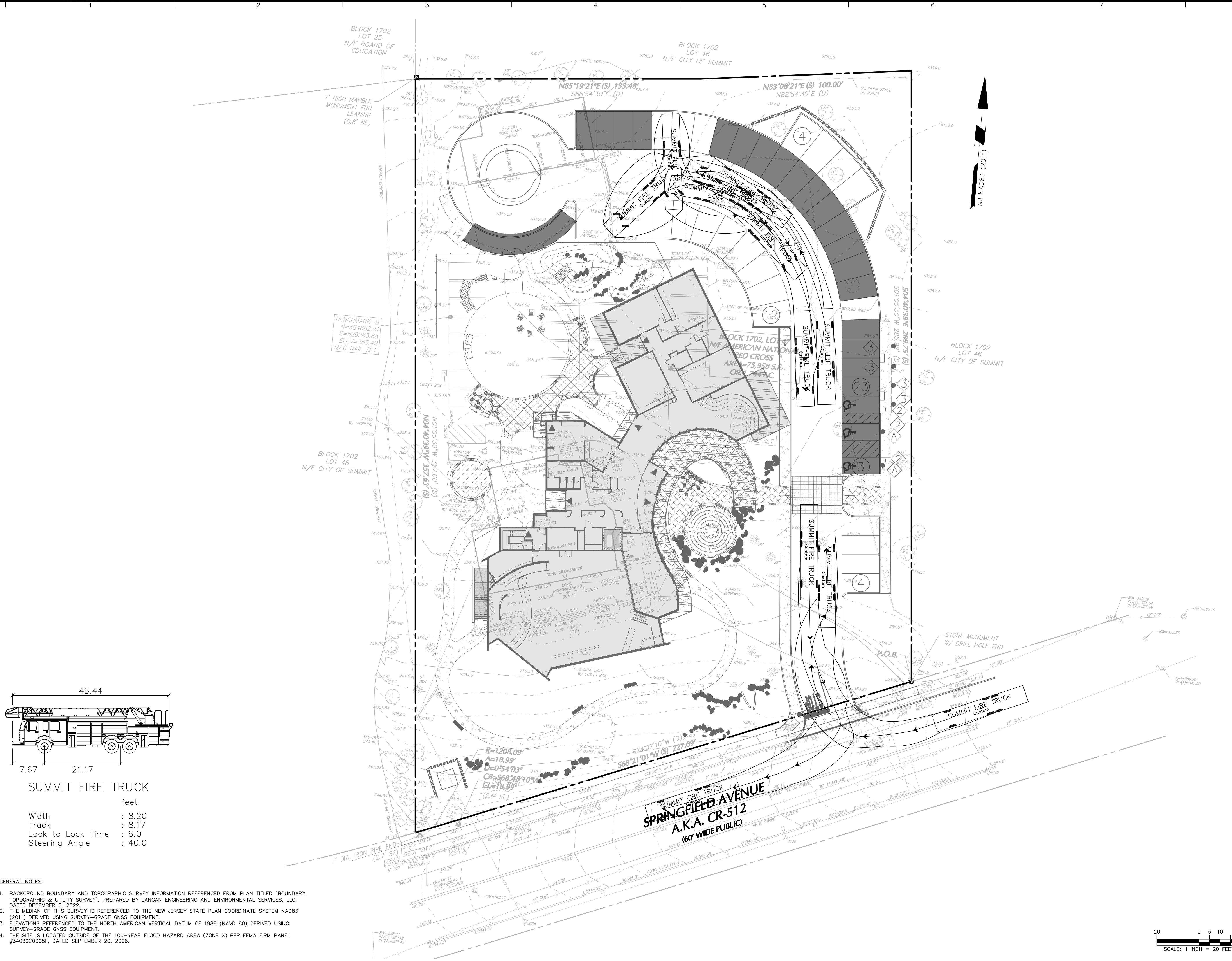
Project

**BEACON UNITARIAN  
UNIVERSALIST  
CONGREGATION**  
SUMMIT  
NEW JERSEY  
Drawing Title  
UNION COUNTYSITE DETAILS  
Drawing No.  
Project No. 101007201  
Drawing No. CS501  
Date FEBRUARY 9, 2024  
Drawn By SM  
Checked By TH

Sheet 5 of 19

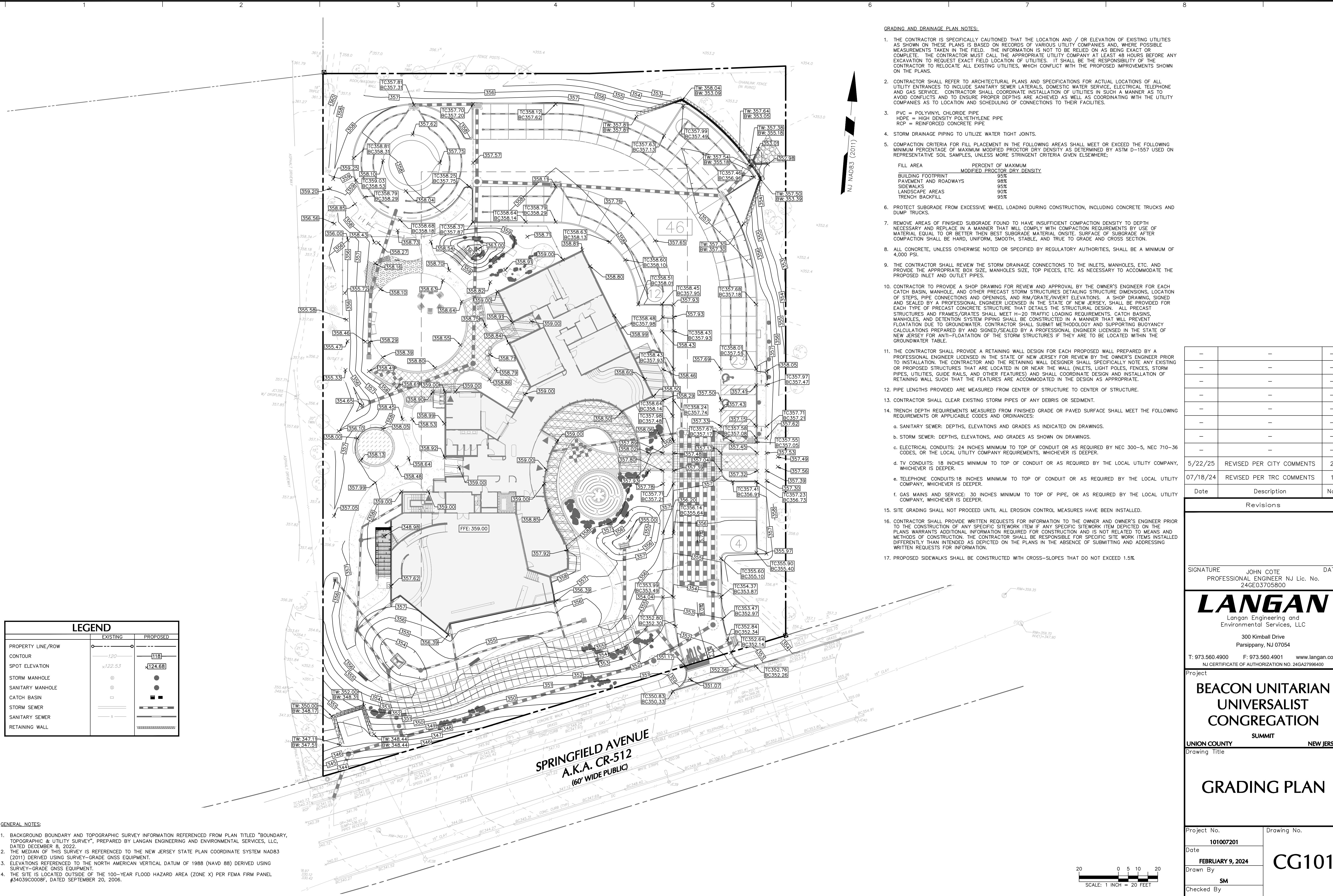
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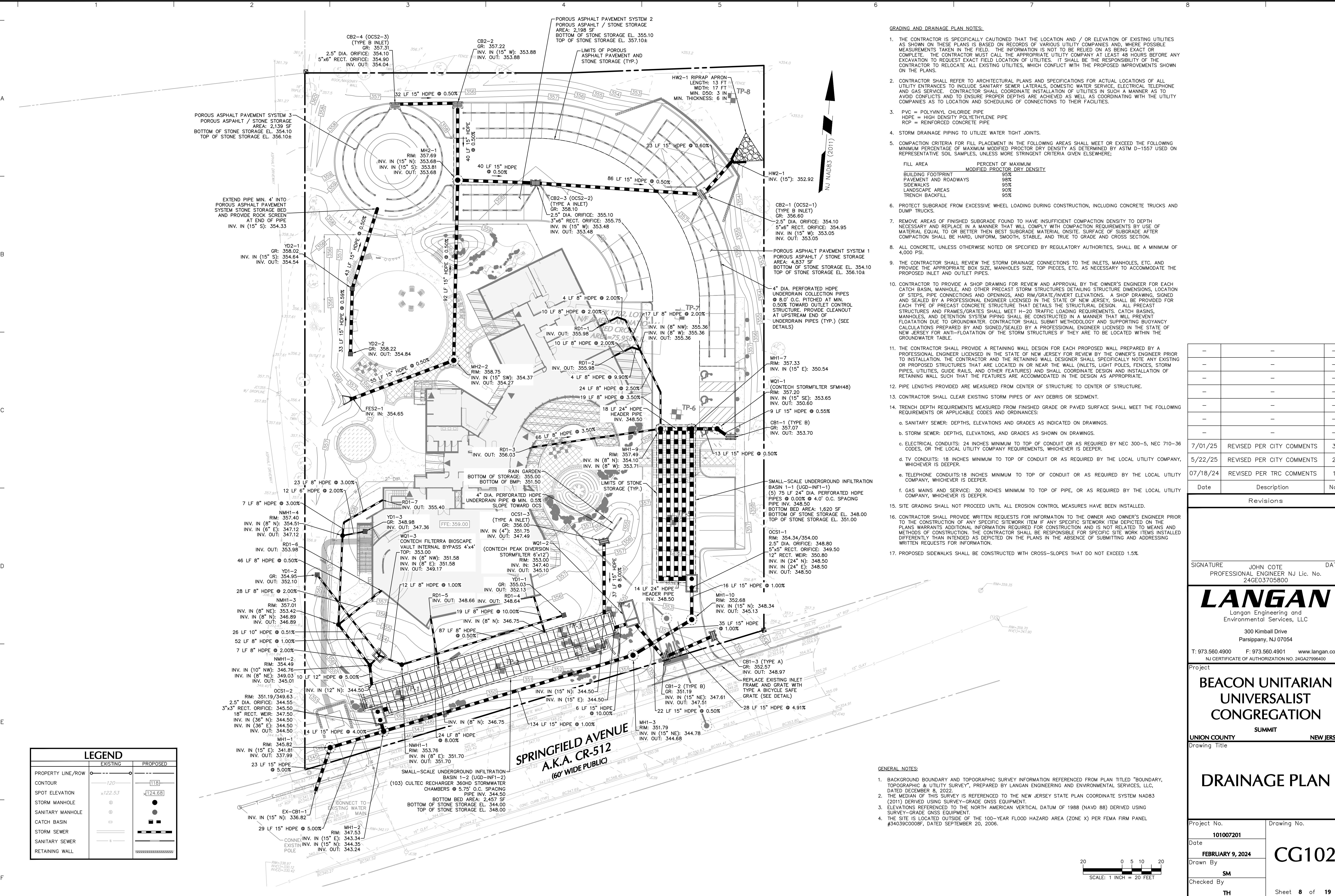
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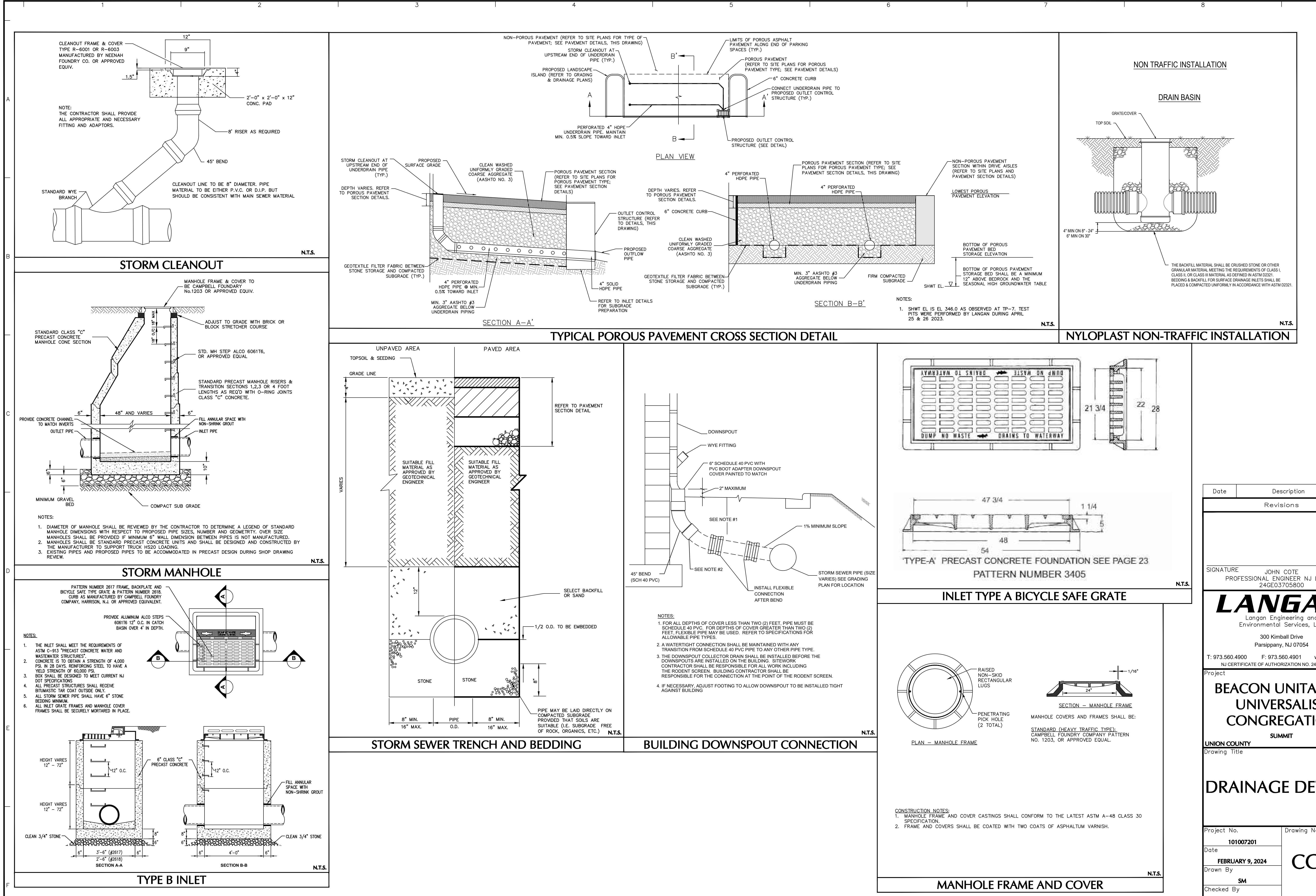


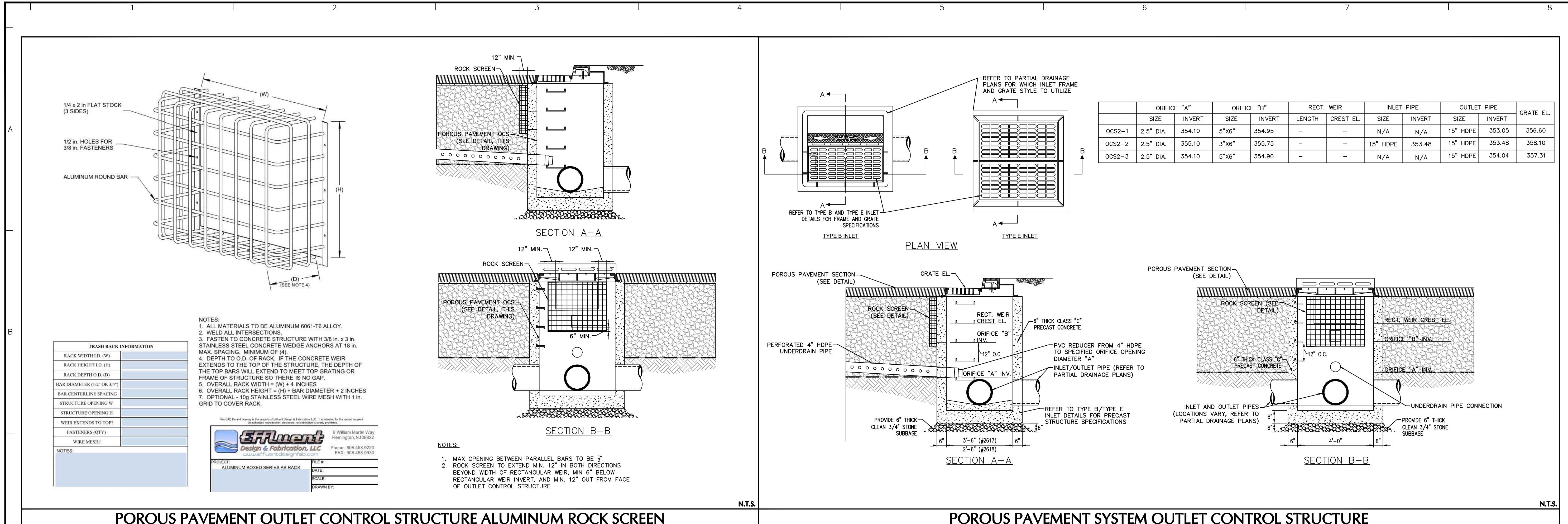
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<b>LANGAN</b> Langan Engineering and Environmental Services, LLC 300 Kimball Drive Parsippany, NJ 07054		
T: 973.560.4900 F: 973.560.4901 www.langan.com NJ CERTIFICATE OF AUTHORIZATION NO. 24GA27996400		
Project		
<b>BEACON UNITARIAN UNIVERSALIST CONGREGATION</b>		
SUMMIT NEW JERSEY		
Drawing Title		
<b>FIRE TRUCK CIRCULATION PLAN</b>		
Project No. 101007201 Drawing No. CP101		
Date FEBRUARY 9, 2024		
Drawn By SS		
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Sheet 6 of 19		

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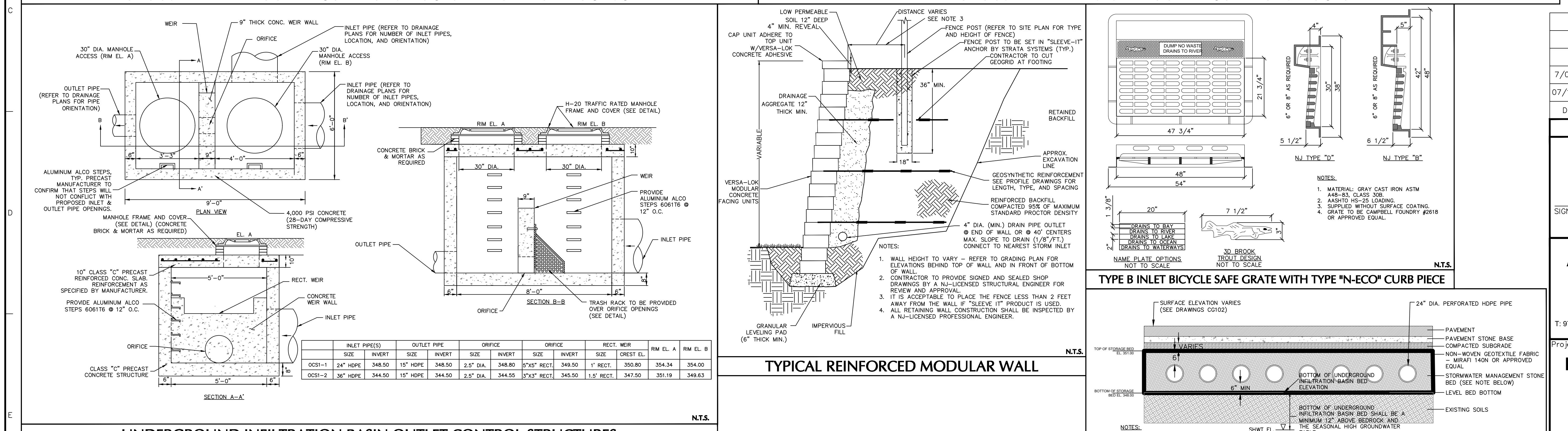








**POROUS PAVEMENT OUTLET CONTROL STRUCTURE ALUMINUM ROCK SCREEN**



**POROUS PAVEMENT SYSTEM OUTLET CONTROL STRUCTURE**



**UNDERGROUND INFILTRATION BASIN OUTLET CONTROL STRUCTURES**

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-	-	-
-	-	-
7/01/25	REVISED PER CITY COMMENTS	2
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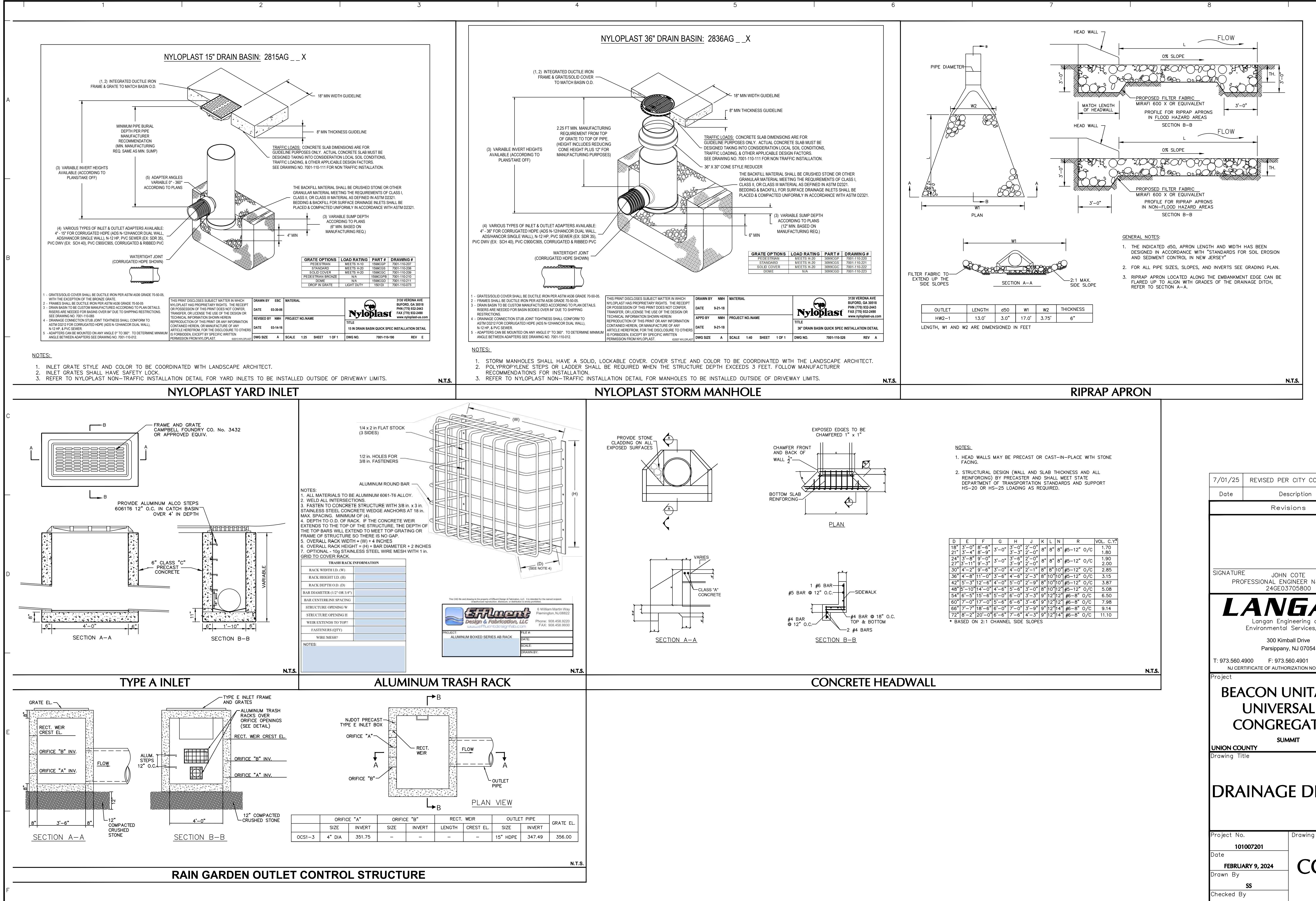
Project

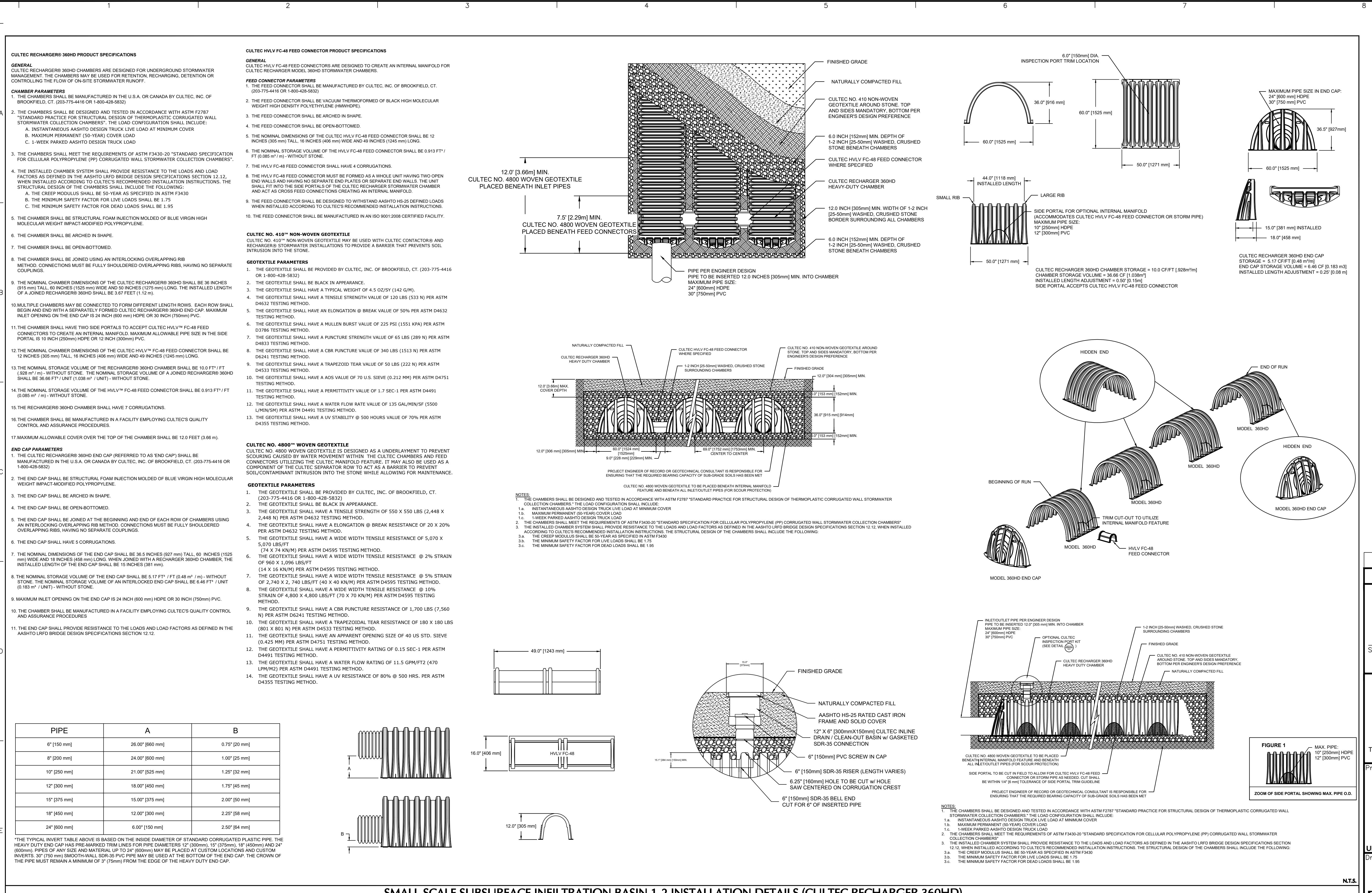
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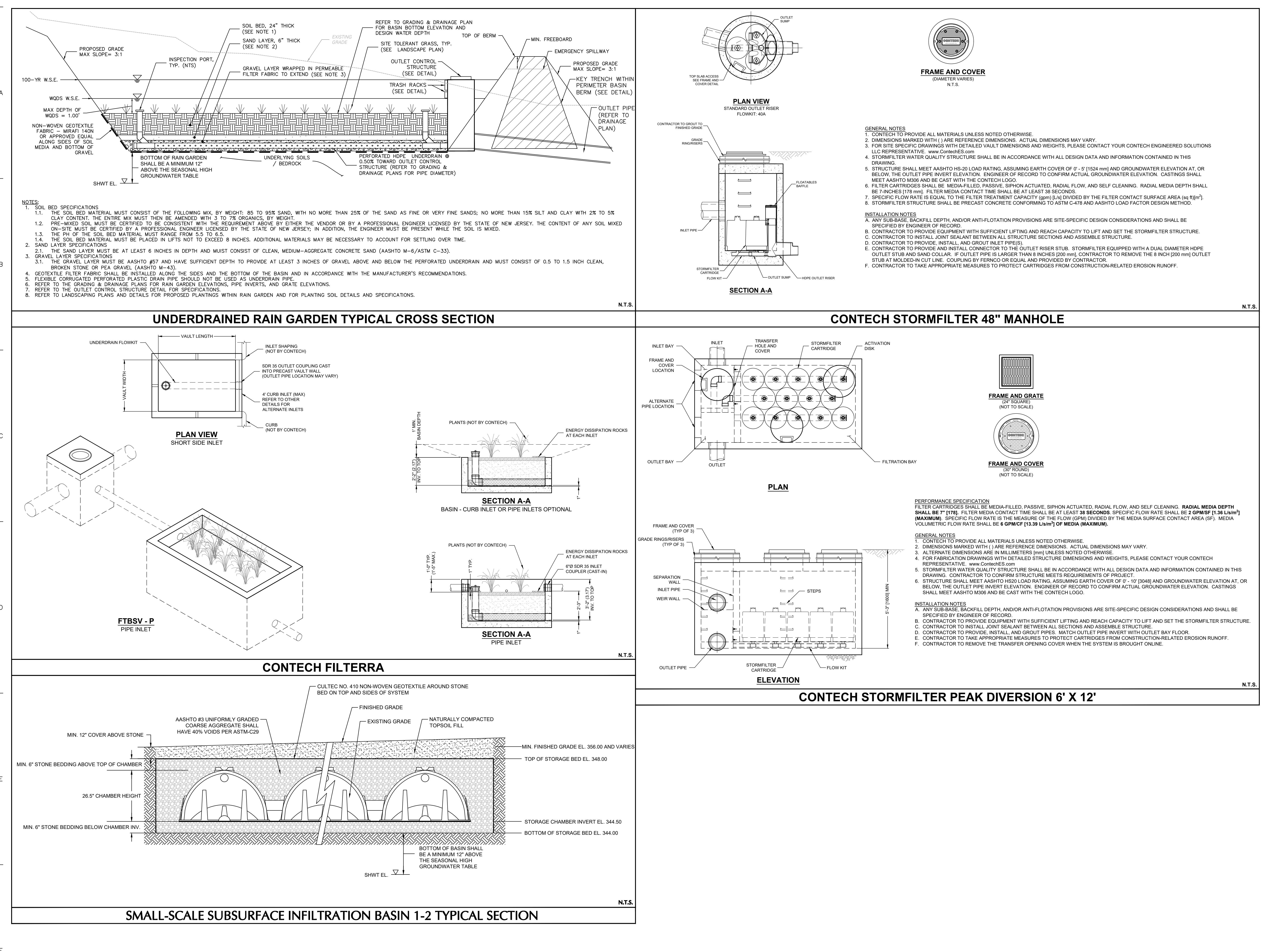
Drawing Title

**DRAINAGE DETAILS**

Project No.	Drawing No.
101007201	
Date	
FEBRUARY 9, 2024	
Drawn By	
SM	
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TH	
Sheet 10 of 19	







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<b>FEBRUARY 9, 2024</b>		
Drawn By		
<b>SS</b>		
Checked By		
<b>TH</b>		
		Sheet <b>13</b> of <b>19</b>

LEGEND		
	EXISTING	PROPOSED
PROPERTY LINE/ROW	—	—
CONTOUR	— 120—	— 118—
SPOT ELEVATION	— x122.53	—
STORM MANHOLE	●	●
SANITARY MANHOLE	●	●
SANITARY CLEANOUT	□	□
TRENCH DRAIN	—	—
STORM SEWER	—	—
SANITARY SEWER	—	—
SANITARY SEWER FORCE MAIN	— FM —	—
WATER MAIN	— W —	— W —
GAS MAIN	— G —	— G —
ELECTRIC CONDUIT	— E —	— E —
TELEPHONE CONDUIT	— T —	— T —
VALVE	— V —	— V —
FIRE HYDRANT	— H —	— H —
LIGHT POLE	— L —	— L —
UTILITY POLE	— U —	— U —
OVERHEAD WIRE	—	—
JUNCTION BOX	□	□
ELECTRIC MANHOLE	●	●
RETAINING WALL	=====	=====

## GENERAL NOTES:

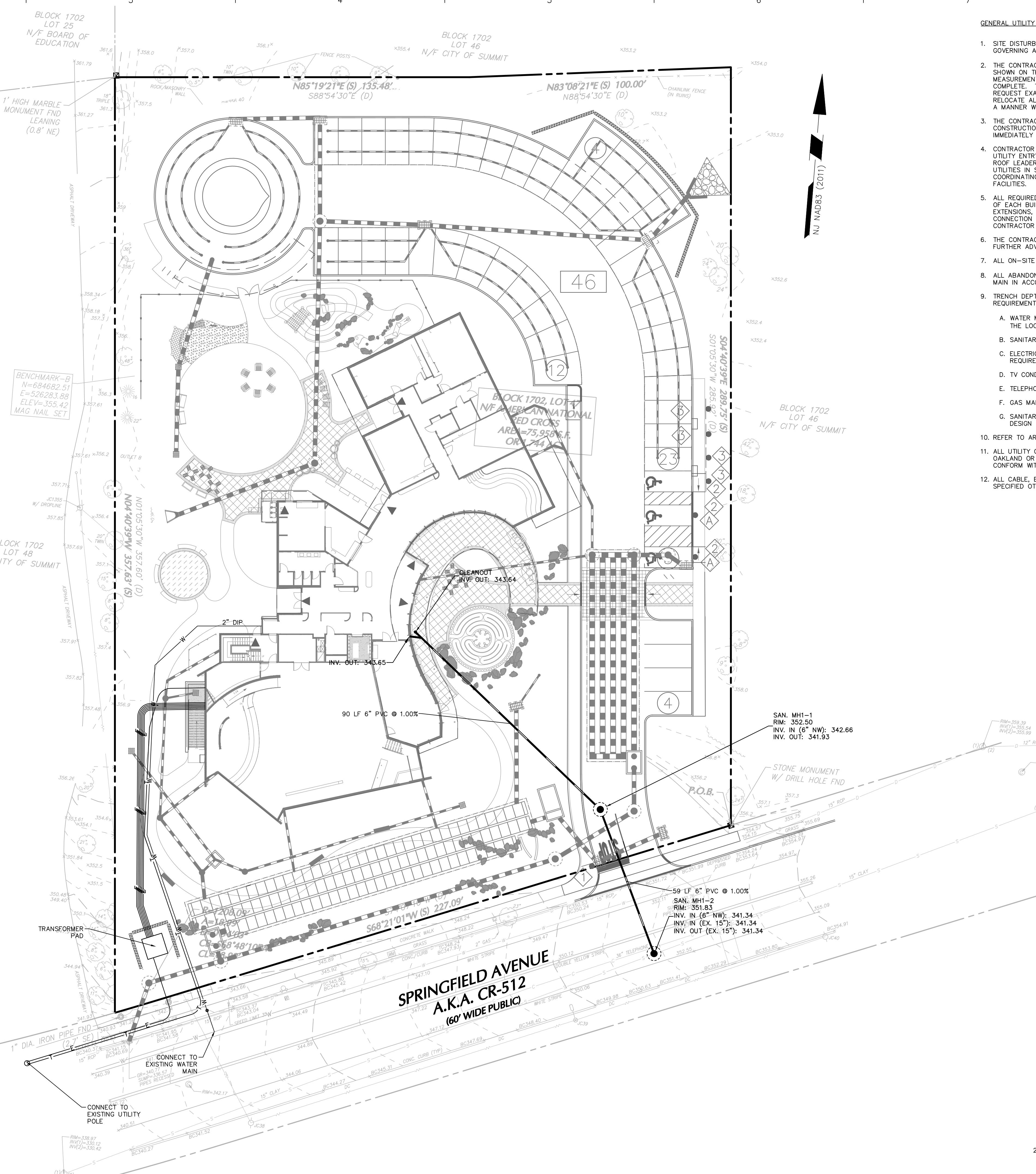
1. BACKGROUND BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION REFERENCED FROM PLAN TITLED "BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY", PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, LLC, DATED DECEMBER 8, 2022.
2. THE COORDINATE SURVEY IS REFERENCED TO THE NEW JERSEY STATE PLAN COORDINATE SYSTEM NAD83 (2011) DERIVED USING SURVEY-GRADE GNSS EQUIPMENT.
3. ELEVATIONS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) DERIVED USING SURVEY-GRADE GNSS EQUIPMENT.
4. THE SITE IS LOCATED OUTSIDE OF THE 100-YEAR FLOOD HAZARD AREA (ZONE X) PER FEMA FIRM PANEL #34039C0008F, DATED SEPTEMBER 20, 2006.

## SANITARY / SEWER NOTES:

1. ALL SEWER CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE LOCAL AUTHORITY.
2. WITH THE EXCEPTION OF THE TIE-IN SEWER, EXISTING ON-SITE SANITARY SEWER LINES SERVICING THE SITE SHALL BE PHYSICALLY REMOVED UNLESS NOTED OTHERWISE. CONTRACTOR TO NOTIFY OWNER'S ENGINEER PRIOR TO REMOVAL OF ANY SEWER PIPE.
3. THE CONTRACTOR MUST VERIFY THE LOCATION, SIZE, AND SERVICEABILITY OF THE EXISTING SANITARY SEWER MAINS PRIOR TO BEGINNING ANY SITE OR BUILDING CONSTRUCTION.
4. THE SEWER CONTRACTOR SHALL CONSTRUCT THE SANITARY SEWER LINES TO WITHIN 5 FEET OF THE PROPOSED BUILDING LIMITS WHERE THE LINE SHALL BE PLUGGED AND MARKED.
5. ALL MATERIALS USED AND ALL CONSTRUCTION METHODS EMPLOYED SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR THE GOVERNING LOCAL MUNICIPAL UTILITY AUTHORITY.
6. WHERE LESS THAN 18" OF VERTICAL CLEARANCE IS PROVIDED BETWEEN THE SANITARY SEWER AND OTHER UTILITIES, THE SEWER SHALL BE ENCASED IN 6 INCHES OF CONCRETE ON ALL FOUR SIDES AND SHALL EXTEND 10 FEET BEYOND CROSSING IN BOTH DIRECTIONS. DUCTILE IRON PIPE MAY BE UTILIZED IN PLACE OF CONCRETE ENCASEMENT PER N.J.A.C. 7:14A 23.6.B.4.
7. WHEN SANITARY LATERALS TIE DIRECTLY INTO MANHOLES, AN APPROPRIATE OPENING WITH AN "A-LOCK" OR APPROVED EQUAL JOINT SHALL BE PRECAST IN THE MANHOLE BASE. ALL MAINS SHALL BE TESTED FOR LEAKAGE IN ACCORDANCE WITH THE LOW PRESSURE AIR TEST METHOD OR AS OTHERWISE SPECIFIED BY LOCAL AUTHORITY OR PROJECT SPECIFICATIONS.

## WATER NOTES:

1. ALL WATER CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE LOCAL GOVERNING AUTHORITY.
2. ALL EXISTING WATER LATERALS SERVICING THE EXISTING BUILDINGS OR REMAINING WITHIN THE SITE FROM FORMER BUILDINGS (TO BE DEMOLISHED) SHALL BE TERMINATED AT THE MAIN AND Curb SHUT-OFFS SHALL BE REMOVED. EXISTING WATER SERVICE LINES SHALL BE PHYSICALLY REMOVED UNLESS NOTED OTHERWISE. CONTRACTOR SHALL NOTIFY OWNER'S ENGINEER PRIOR TO REMOVAL OF ANY WATER LINE.
3. THE CONTRACTOR MUST VERIFY THE LOCATION, SIZE, AND SERVICEABILITY OF THE EXISTING WATER MAINS PRIOR TO BEGINNING ANY SITE OR BUILDING CONSTRUCTION.
4. THE MINIMUM HORIZONTAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER AND SEWER MAIN IS TEN FEET (10'). THE MINIMUM VERTICAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER AND SEWER LINE IS EIGHTEEN INCHES (18"). CONCRETE PIPE ENCASEMENTS WILL BE REQUIRED WHERE THE MINIMUM SEPARATION CANNOT BE ACHIEVED. LATERAL SEPARATION SHALL BE AS REQUIRED BY LOCAL CODE.
5. THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES, ELBOWS, PLUGS, AND FIRE HYDRANTS.
6. ALL FIRE HYDRANTS SHALL BE PROVIDED WITH AN APPROVED GATE VALVE A MAXIMUM OF 5'-0" FROM HYDRANT, AND SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL AUTHORITY.
7. ALL GATE VALVES SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL AUTHORITY.
8. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
9. BACKFLOW PREVENTION DEVICES FOR DOMESTIC AND FIRE SERVICE CONNECTIONS SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL AUTHORITY.
10. ALL NEW WATER LINES SHALL BE PRESSURE TESTED AND LEAKAGE TESTED IN ACCORDANCE WITH THE LATEST EDITION OF AWWA STANDARD C600, OR LOCAL REQUIREMENTS, WHICHEVER IS MORE RESTRICTIVE.
11. ALL NEW WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA STANDARD C651, OR LOCAL REQUIREMENTS, WHICHEVER IS MORE RESTRICTIVE.



## GENERAL UTILITY NOTES:

1. SITE DISTURBANCE SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED AND ALL GOVERNING AGENCIES HAVE BEEN NOTIFIED BY THE CONTRACTOR.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL NEW JERSEY ONE-CALL AND THE APPROPRIATE UTILITY COMPANIES TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT ANY EXISTING USERS OF THESE UTILITIES.
3. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
4. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRY POINTS, INCLUDING SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ROOF LEADERS, ELECTRICAL, TELEPHONE, AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
5. ALL REQUIRED UTILITIES SERVING THE BUILDINGS SHALL BE COORDINATED AND CONSTRUCTED TO WITHIN FIVE FEET OF EACH BUILDING UTILITY ENTRANCE AND PLUGGED AND MARKED UNLESS OTHERWISE NOTED. ANY NECESSARY EXTENSIONS, RELOCATIONS, OR CORRECTIONS WITHIN FIVE FEET OF THE BUILDING NECESSARY TO COMPLETE CONNECTION OF UTILITIES TO THE BUILDINGS SHALL BE MADE BY THE BUILDING CONTRACTOR. THE BUILDING CONTRACTOR SHALL MAKE THE FINAL CONNECTION BETWEEN THE BUILDING SYSTEMS AND THE SITE UTILITIES.
6. THE CONTRACTOR MUST NOTIFY LOCAL AUTHORITIES A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION, UNLESS FURTHER ADVANCE NOTICE IS REQUIRED BY THE CITY.
7. ALL ON-SITE UTILITIES SHALL BE UNDERGROUND UNLESS NOTED OTHERWISE.
8. ALL ABANDONED UTILITY LINES AND STRUCTURES SHALL BE COMPLETELY REMOVED AND CAPPED/PLUGGED AT THE MAIN IN ACCORDANCE WITH THE UTILITY COMPANY OR LOCAL AUTHORITY REQUIREMENTS.
9. TRENCH DEPTH REQUIREMENTS MEASURED FROM FINISHED GRADE OR PAVED SURFACE SHALL MEET THE FOLLOWING REQUIREMENTS WHEN NOT SPECIFIED BY GOVERNING CODES, ORDINANCES, OR AUTHORITIES.
  - A. WATER MAINS: 48 INCHES TO TOP OF PIPE BARREL OR 6 INCHES BELOW THE FROST LINE (ESTABLISHED BY THE LOCAL BUILDING OFFICER OR WATER COMPANY).
  - B. SANITARY SEWER: DEPTHS, ELEVATIONS, AND GRADES AS INDICATED ON DRAWINGS.
  - C. ELECTRICAL CONDUITS: 24 INCHES MINIMUM TO TOP OF CONDUIT OR AS SPECIFIED BY THE UTILITY COMPANY.
  - D. TV CONDUITS: 18 INCHES MINIMUM TO TOP OF CONDUIT OR AS REQUIRED BY THE UTILITY COMPANY.
  - E. TELEPHONE CONDUITS: 18 INCHES MINIMUM TO TOP OF CONDUIT OR AS REQUIRED BY THE UTILITY COMPANY.
  - F. GAS MAINS AND SERVICE: 30 INCHES MINIMUM TO TOP OF PIPE OR AS REQUIRED BY THE UTILITY COMPANY.
  - G. SANITARY FORCE MAINS: 48 INCHES MINIMUM TO THE TOP OF PIPE BARREL OR AS INDICATED ON THE DESIGN DRAWINGS.
10. REFER TO ARCHITECTURAL DRAWINGS FOR SERVICE LATERAL CONNECTIONS TO INTERNAL BUILDING SERVICE LINES.
11. ALL UTILITY CONSTRUCTION TO BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES, THE BOROUGH OF OAKLAND OR THE BOROUGH OF FRANKLIN LAKES DEPENDING ON LOCATION AND JURISDICTION, AND SHALL CONFORM WITH THE REQUIREMENTS THEREOF.
12. ALL CABLE, ELECTRIC, TELEPHONE AND FIBER OPTIC UTILITY LINES SHALL BE INSTALLED UNDERGROUND UNLESS SPECIFIED OTHERWISE.

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—	—	—
—	—	—
—	—	—
—	—	—

5/22/25 REVISED PER CITY COMMENTS 2  
07/18/24 REVISED PER TRC COMMENTS 1

Date Description No.  
Revisions

SIGNATURE JOHN COTE DATE  
PROFESSIONAL ENGINEER NJ Lic. No.  
24GE03705800

LANGAN  
Langan Engineering and  
Environmental Services, LLC  
300 Kimball Drive  
Parsippany, NJ 07054

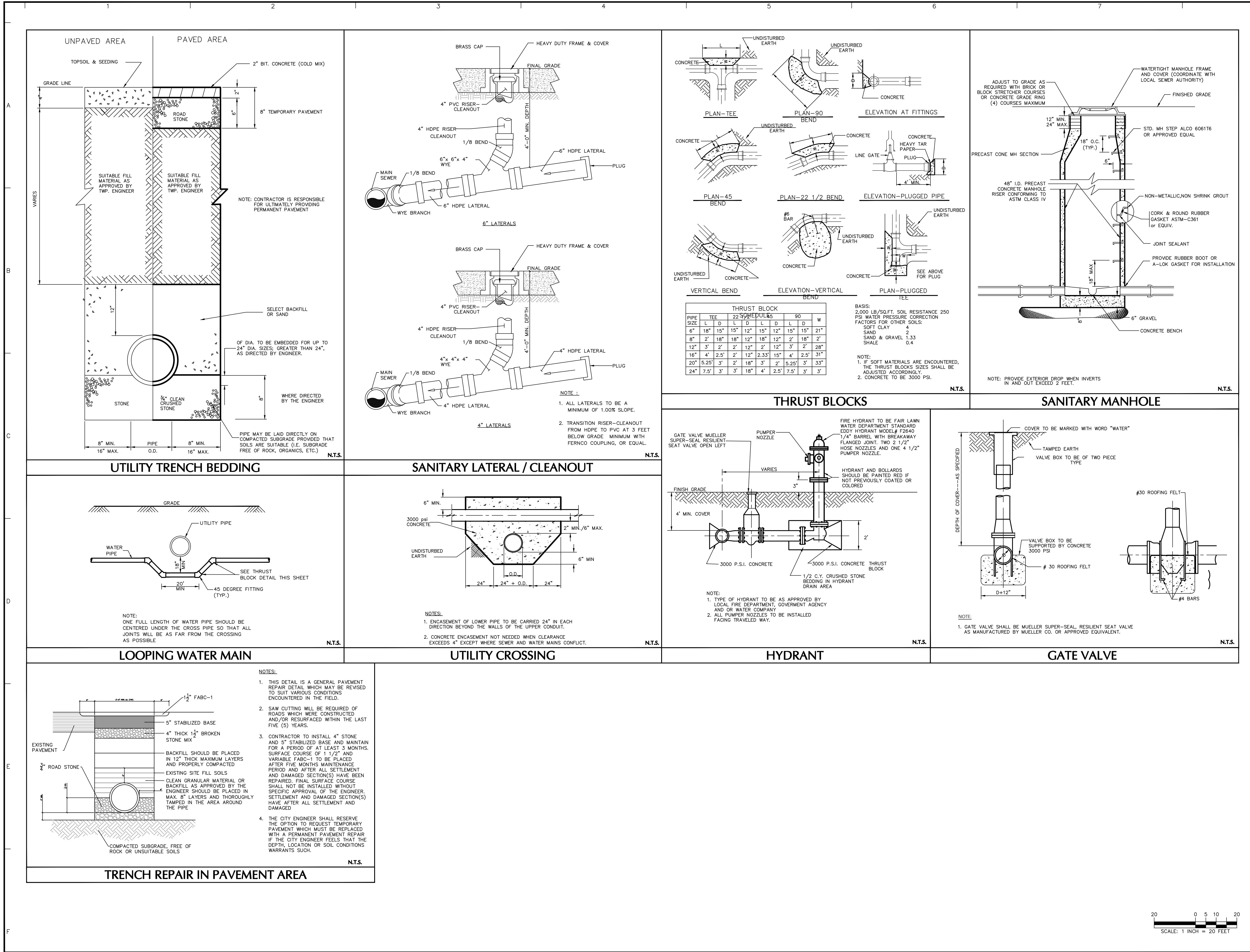
T: 973.560.4900 F: 973.560.4901 www.langan.com  
NJ CERTIFICATE OF AUTHORIZATION NO. 24GA2799400

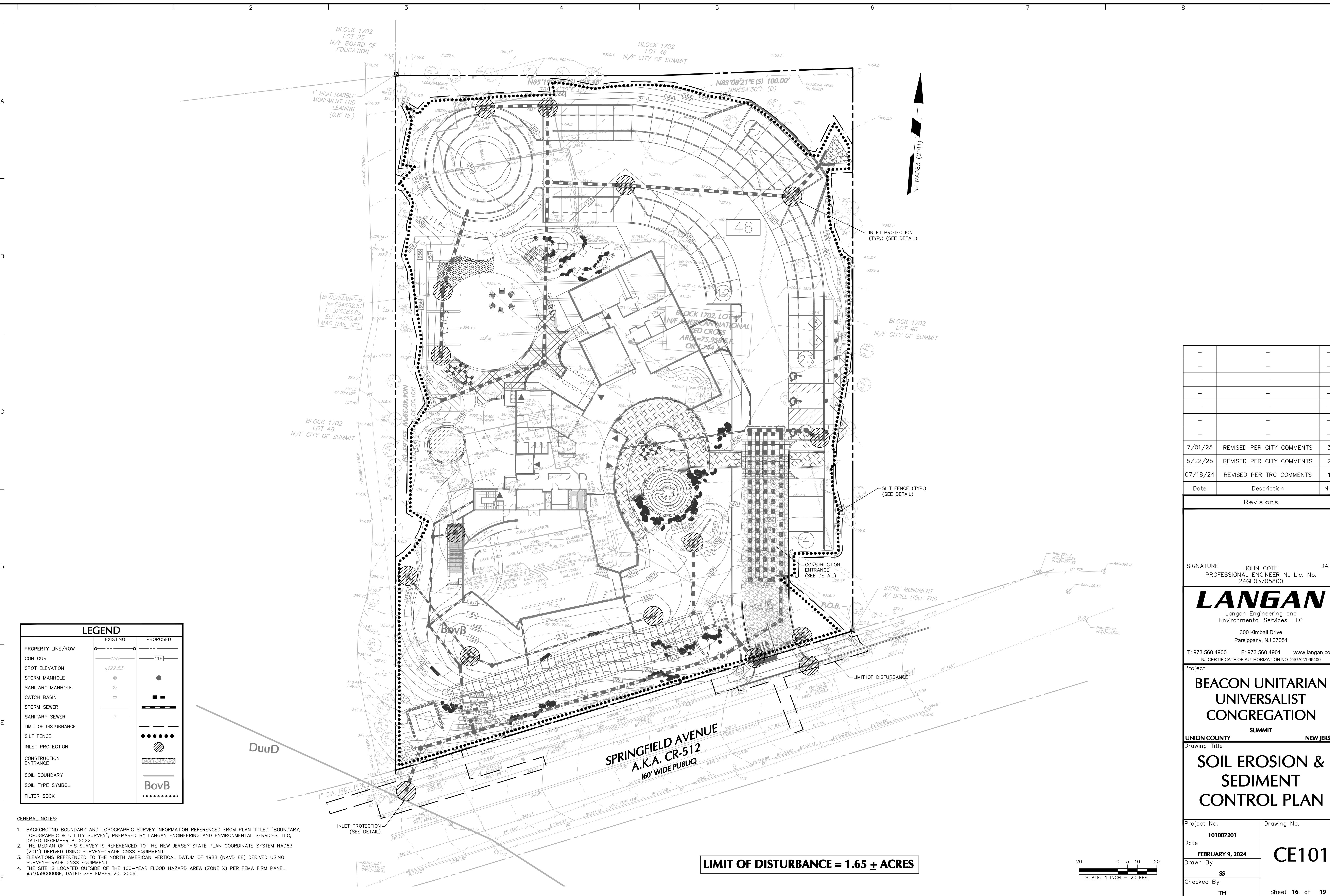
Project

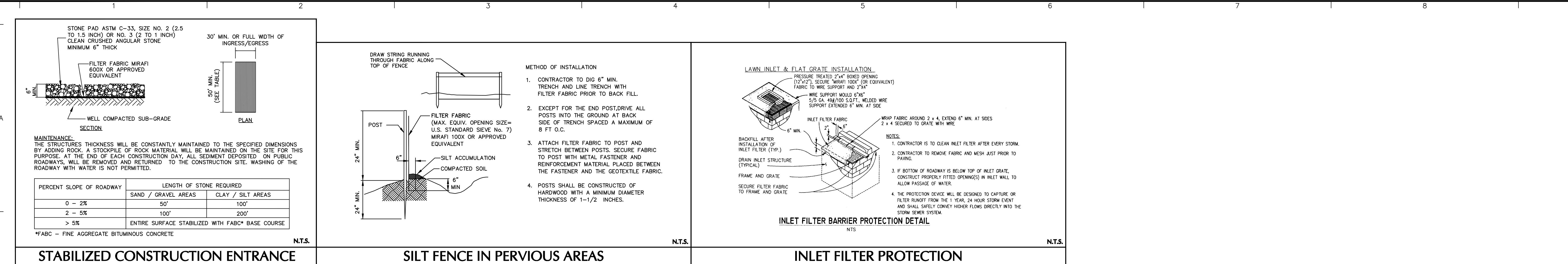
BEACON UNITARIAN  
UNIVERSALIST  
CONGREGATION  
SUMMIT  
NEW JERSEY

Drawing Title

Project No.	Drawing No.
101007201	
Date	
FEBRUARY 9, 2024	
Drawn By	
SS	
Checked By	
TH	
Sheet 14 of 19	







**GRADING NOTES**

- THE CUT FACE OF EARTH EXCAVATIONS SHALL BE NO STEEPER THAN THE SAFE ANGLE OF REPOSE FOR THE MATERIALS ENCOUNTERED AND FLAT ENOUGH FOR PROPER MAINTENANCE.
- PROVISIONS SHALL BE MADE TO SAFELY CONDUCT SURFACE WATER TO STORM DRAINS OR SUITABLE WATER COURSES AND TO PREVENT SURFACE RUNOFF FROM DAMAGING CUT FACES IN FILL SLOPES.
- ADJOINING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS.
- TIMBER, LOGS, BRUSH, RUBBISH, ROCKS, STUMPS, AND VEGETATIVE MATTER WHICH WILL INTERFERE WITH THE GRADING OPERATION OR AFFECT THE PLANNED STABILITY OR FILL AREAS SHALL BE REMOVED AND DISPOSED OF PER LOCAL, STATE, AND FEDERAL WASTE REMOVAL STANDARDS BY THE CONTRACTOR AT CONTRACTOR'S OWN EXPENSE.
- ALL DISTURBED AREAS SHALL BE LEFT WITH A NEAT AND FINISHED APPEARANCE AND SHALL BE PROTECTED FROM EROSION.

**STABILIZATION WITH MULCH ONLY NOTES**

- NON-GROWING STABILIZATION MEASURES SHALL BE USED WHERE THE SEASON & OTHER CONDITIONS MAY NOT BE SUITABLE FOR GROWING AN EROSION RESISTANT COVE OR WHERE STABILIZATION IS NEEDED FOR A SHORT PERIOD UNTIL MORE SUITABLE PROTECTION CAN BE APPLIED.
- SALT HAY, HAY FREE OF SEEDS OR UN-ROTTED SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS/1,000 SF, TO BE APPLIED ACCORDING TO NEW JERSEY STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS IMMEDIATELY AFTER PLACEMENT (SUCH AS PEG & TWINE, MULCH NETTING OR LIQUID MULCH-BINDER).

**Maintenance Notes**

- Maintenance is necessary to allow for continuing performance of erosion control devices during the construction period and long term maintenance, following completion of construction, for the life of structural measures. Structural measures for control of soil erosion and sedimentation must have timely maintenance. Particular attention should be given to temporary structures such as sediment barriers and construction aprons.

**PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION**

- PERMANENT SEEDING SHALL BE IN ACCORDANCE WITH "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY." THE FOLLOWING SEEDING SCHEDULE SHOULD BE USED FOR PERMANENT SEEDING (UNLESS OTHERWISE NOTED)
  - APPLY TOPSOIL TO A DEPTH OF 5".
  - LIME - 90 LBS/1,000 SF GROUND LIMESTONE.
  - FERTILIZER - 14 LBS/1,000 SF, 10-20-10 OR EQUIVALENT, WITH 50% WATER INSOLUBLE NITROGEN, WORKED INTO SOIL TO A DEPTH OF 4 INCHES.
  - SEED - 70% TURF TYPE TALL FESCUE 20% PERENNIAL RYegrass 10% KENTUCKY BLUEGRASS SEED AT A RATE OF 200 LBS/ACRE
- OPTIMAL PLANTING PERIOD BETWEEN FEBRUARY 15 AND MAY 1 OR BETWEEN AUGUST 15 AND OCTOBER 15.

**DUST CONTROL SPECIFICATIONS**

- ONE OR MORE OF THE FOLLOWING METHODS SHALL BE USED FOR CONTROLLING:
  - MULCHING (SEE SPECIFICATIONS, THIS SHEET).
  - VEGETATIVE COVER (SEE SPECIFICATIONS, THIS SHEET)
  - TILLAGE TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A PRE-CONSTRUCTION MEASURE. IT SHALL BE USED BEFORE SOIL PLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARRROWS MAY PRODUCE THE DESIRED EFFECT.
  - SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
  - BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY USED TO CONTROL AIR CURRENTS, AND SOIL PLOWING.
  - CALCIUM CHLORIDE - LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON SLOPES, USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.
  - STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.
  - SPRAY-ADHESIVES - ON MINERAL SOILS. KEEP TRAFFIC OFF THESE AREAS.

**Soil De-compaction and Testing Requirements**

**Soil Compaction Testing Requirements**

- Subgrade soils **prior to the application of topsoil** (see permanent seeding and stabilization notes for topsoil requirements) shall be free of excessive compaction to a depth of 6.0 inches to enhance the establishment of permanent vegetative cover.
- Areas of the site which are subject to compaction testing and/or mitigation are **graphically denoted** on the certified soil erosion control plan.
- Compaction testing locations** are denoted on the plan. A copy of the plan or portion of the plan shall be used to mark locations of tests, and attached to the compaction remediation form, available from the local soil conservation district. This form must be filled out and submitted prior to receiving a certificate of compliance from the district.
- In the event that testing indicates compaction in excess of the maximum thresholds indicated for the simplified testing methods (see details below), the contractor/owner shall have the option to perform either (1) compaction mitigation over the entire mitigation area denoted on the plan (excluding exempt areas), or (2) perform additional, more detailed testing to establish the limits of excessive compaction whereupon only the excessively compacted areas would require compaction mitigation. Additional detailed testing shall be performed by a trained, licensed professional.

**Compaction Testing Methods**

- A. Probing Wire Test (see detail)
- B. Hand-held Penetrometer Test (see detail)
- C. Tube Bulk Density Test (licensed professional engineer required)
- D. Nuclear Density Test (licensed professional engineer required)

Note: Additional testing methods which conform to ASTM standards and specifications, and which produce a dry weight, soil bulk density measurement may be allowed subject to District approval.

**Soil compaction testing is not required if/when subsoil compaction remediation (scarification/tillage (6" minimum depth) or similar) is proposed as part of the sequence of construction.**

**Procedures for Soil Compaction Mitigation**

Procedures shall be used to mitigate excessive soil compaction **prior to placement of topsoil** and establishment of permanent vegetative cover.

**Restoration of compacted soils shall be through deep scarification/tillage (6" minimum depth) where there is no danger to underground utilities (cables, irrigation systems, etc.). In the alternative, another method as specified by a New Jersey Licensed Professional Engineer maybe substituted subject to District Approval.**

**Probing Wire Test- 15.5 ga steel wire (survey flag)**

Note: soil should be moist but not saturated. Do not test when soil is excessively dry or subject to freezing temperatures. Slow, steady downward pressure used to advance the wire.

Hold Wire here:  
Wire must penetrate a minimum of 6" without deformation.  
18-21"  
Wire may be re-inserted if/when an obstruction (rock, root, debris) is encountered.  
6.0" min. visible mark on wire at depth

**Handheld Soil Penetrometer Test**

Note: soil should be moist but not saturated. Do not test when soil is excessively dry or subject to freezing temperatures. Slow, steady downward pressure used to advance the probe. Probe must penetrate at least 6" with less than 300 psi reading on the gage.

Gage reading 300 psi or less at 6"  
Penetrometer may be re-inserted if/when an obstruction (rock, root, debris) is encountered.  
6.0" min. visible mark on shaft at depth  
\*Use correct size tip for soil type

Date	Description	No. Revisions
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SIGNATURE JOHN COTE DATE  
PROFESSIONAL ENGINEER NJ Lic. No.  
24GE03705800

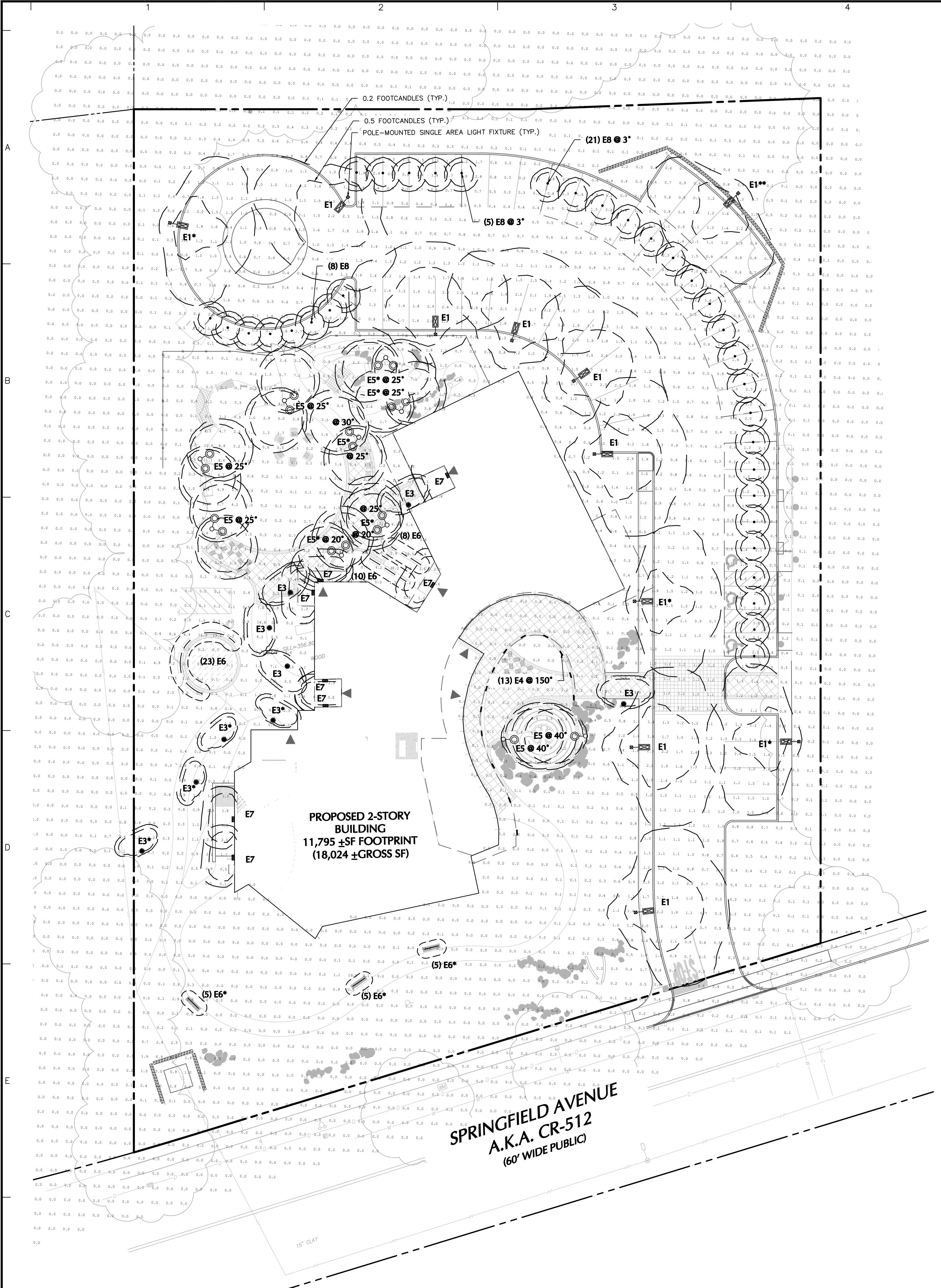
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NJ CERTIFICATE OF AUTHORIZATION NO. 24GA27996400

Project

BEACON UNITARIAN  
UNIVERSALIST  
CONGREGATION  
SUMMIT  
UNION COUNTY  
NEW JERSEY  
Drawing Title  
SOIL EROSION &  
SEDIMENT CONTROL  
NOTES & DETAILS

Project No. 101007201  
Drawing No. CE501  
Date FEBRUARY 9, 2024  
Drawn By SS  
Checked By TH  
Sheet 17 of 19



ORDINANCE COMPLIANCE TABLE				
ITEM	REQUIRED	PROPOSED	COMPLIES	ORDINANCE SECTION (PAGE)
GENERAL DESIGN REQUIREMENTS				
LIGHT FIXTURE MOUNTING HEIGHT	THE MAXIMUM HEIGHT OF ALL LIGHT FIXTURES SHALL NOT EXCEED 15 FEET.	MAXIMUM MOUNTING HEIGHT OF ALL FIXTURES	YES	ZONING 35-14.1 M.2.a.
LUMINANCE REQUIREMENTS	WALKWAYS, STAIRWAYS AND BRIDGES DISTANT FROM ROADWAYS: 0.2 FC	MAXIMUM AVERAGE OF 0.2 FC IS PROPOSED.	YES	ZONING 35-14.1 M.2.g.(3)(b)
COLOR TEMPERATURE	LIGHTING FIXTURES SHALL NOT EXCEED A COLOR TEMPERATURE OF 3000 KELVIN	PROPOSED FIXTURES ARE ALL 2700 KELVIN	YES	ZONING 35-14.1 M.2.g.(3)(d)
PROPERTY LINE	THE MAXIMUM ILLUMINATION AT PROPERTY LINES SHALL BE 1/10 FOOTCANDLE AT GRADE.	MAXIMUM ILLUMINATION AT PROPERTY LINE IS 0.1 FC.	YES	ZONING 35-14.1 M.2.g.(3)(i)

## SITE LIGHTING SCHEDULE

SYMBOL	KEY	QTY.	Fixture Manufacturer	Fixture Model	Fixture Description	Fixture Mounting Height	LAMP	OPTICS	LUMENS	LLF	TILT ANGLE	IES FILE	Fixture Catalogue No.	Pole Manufacturer	Pole Description	Pole Length	Pole Catalogue No.
■-■	E1	7	WE-EF	AFL120 LED	POLE MOUNTED SINGLE AREA LIGHT FIXTURE; COLOR - BLACK	15'-0"	26.5W LED	FORWARD THROW	2,983	0.90	0°	102-0317.IES	102-0317 INCLUDE: 430-0029	LUMCA POLE	ROUND STRAIGHT ALUMINUM POLE	15'-0"	AP04-HD15-WB11-4-BK
■-■	E1*	3	WE-EF	AFL120 LED	POLE MOUNTED SINGLE AREA LIGHT FIXTURE; COLOR - BLACK	15'-0"	26.5W LED	FORWARD THROW WITH HOUSE SIDE SHIELD	2,983	0.90	0°	102-0317.IES	102-0317 INCLUDE: 430-0029 (FIELD ADJUSTABLE BACKLIGHT SHIELD)	LUMCA POLE	ROUND STRAIGHT ALUMINUM POLE	15'-0"	AP04-HD15-WB11-4-BK
■-■	E1**	1	WE-EF	AFL120 LED	POLE MOUNTED SINGLE AREA LIGHT FIXTURE; COLOR - BLACK	15'-0"	26.5W LED	FORWARD THROW WITH HOUSE SIDE SHIELD	2,983	0.90	0°	102-0317.IES	102-0317 INCLUDE: 430-0029 (FIELD ADJUSTABLE BACKLIGHT SHIELD)	LUMCA POLE	ROUND STRAIGHT ALUMINUM POLE	SEE NOTE #7	AP04-HD15-WB11-4-BK
●	E3	5	WE-EF	MRY224 LED II	BOLLARD LIGHT FIXTURE; COLOR - BLACK	2'-10"	13.5W LED	ASYMMETRIC	844	0.90	0°	115-9801.IES	115-980				N/A
●	E3*	4	WE-EF	MRY224 LED II	BOLLARD LIGHT FIXTURE; DIMMED @ 40% (OPERATING CIRCUIT) COLOR - BLACK	2'-10"	13.5W LED	ASYMMETRIC	844	0.90	0°	115-9801.IES	115-980				
—	E4	13	WE-EF	FLC311 SPOT MOUNTED	COLUMN MOUNTED ACCENT LIGHT; COLOR - BLACK	7'-6"	11W LED	—	836	0.90	0°	145-7793.IES	145-7793 INCLUDE: 145-7785 (SNOOT) 145-7784 (GLARE SHIELD) 145-9358 (COLUMN FITTER)				
○○	E5	2	WE-EF	FLC210 LED	POLE MOUNTED SINGLE AREA LIGHT FIXTURE; COLOR - BLACK	12'-0"	13.9W LED	—	1212	0.90	0°	139-2391_us.IES	139-2391 INCLUDE: 139-2406 (SNOOT) 139-2406 (GLARE SHIELD)	LUMCA POLE	ROUND STRAIGHT ALUMINUM POLE	15'-0"	AP04-HD15-WB11-4-BK
○○	E5*	8	WE-EF	FLC210 LED	POLE MOUNTED TWIN AREA LIGHT FIXTURE; COLOR - BLACK	12'-0"	13.9W LED	—	1212	0.90	0°	139-2391_us.IES	139-2391 INCLUDE: 139-2407 (SNOOT) 139-2406 (GLARE SHIELD)	LUMCA POLE	ROUND STRAIGHT ALUMINUM POLE	15'-0"	AP04-HD15-WB11-4-BK (TWIN FIXTURE)
—	E6	41	Q-TRAN	THIN-FLAT (01)	RECESSED MOUNTED UNDER BENCH COLOR - SATIN	1'-5"	1.44W LED	—	185	0.85	0°	TH1SW-1-5HE-30-DRY-STD-FR-ST.IES	TH1SW-1-5HE-30-DRY-STD-FR-ST.IES				
—	E6*	15	Q-TRAN	THIN-FLAT (01)	RECESSED MOUNTED UNDER BENCH; DIMMED @ 50% (OPERATING CIRCUIT) COLOR - SATIN	1'-5"	1.44W LED	—	185	0.85	0°	TH1SW-1-5HE-30-DRY-STO-FR-ST.IES	TH1SW-1-5HE-30-DRY-STO-FR-ST.IES				
■	E7	8	WE-EF	RLS410 LED	WALL MOUNTED LIGHT FIXTURE; COLOR - BLACK	8"-0" ABOVE FFE	7.5W LED	—	510	0.90	0°	131-9601_us.IES	131-9601				
•	E8	34	KLIK USA	KLIK LED POD XL32	CANOPY DOWNLIGHT; COLOR - BLACK	10'-6"	6.10W LED	SYMMETRIC	368	0.50	0°	LPODXL32F-Dir-FL-W-SymRef-500.IES	LPODXL32F-Dir-FL-W-SymRef-500				

NOTES:  
1. REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING VOLTAGES AND ELECTRICAL LAYOUTS.  
2. FINAL LOCATION OF BUILDING MOUNTED FIXTURES TO BE COORDINATED WITH ARCHITECTURAL PLANS.  
3. FIXTURES TO ADHERE TO THE CRITERIA FOR DARK SKY COMPLIANCE SET FORTH BY THE INTERNATIONAL DARK SKY ASSOCIATION.  
4. ALL LIGHTING FIXTURES SHALL BE OPERATED ON 120V AC. USE OF EXTERNAL TRANSFORMERS OR ADDITIONAL POWER IN ACCORDANCE WITH ALL LOCAL CODES IS THE RESPONSIBILITY OF THE INSTALLER.  
5. MINIMAL TREE ACCENT LIGHTING WILL BE PROVIDED IN CERTAIN AREAS AT A FUTURE DATE.  
6. CONTRACTOR TO CONFIRM CONTROLS SYSTEM REQUIRED BY THE OWNER AND PER CODE. BID PRICING SHALL INCLUDE SYSTEM. EXTERIOR LIGHTING WILL RESPOND TO MOTION SENSORS AND PHOTOCELL AND /OR TIMECLOCK WITH MANUAL OVERRIDE AT A CENTRAL LOCATION. PROVIDE SEPARATE CIRCUITS FOR GROUPINGS OF DIMMED FIXTURES PER PLAN.  
7. (\*\*) LENGTH OF POLE ADJUSTED FOR GRADE CHANGE AT THIS LOCATION. MOUNTING HEIGHT ABOVE ADJACENT PAVEMENT TO BE 15'-0".

## STATISTICS

DESCRIPTION	Avg.	Max.	Min.	Max/Min	Avg/Min
DRIVE AND PARKING - VEHICULAR	1.2 FC	3.4 FC	0.2 FC	17.0:1	6.0:1
SOUTH PATH - PEDESTRIAN	0.2 FC	1.4 FC	0.0 FC	N/A	N/A
NORTH EAST PATH - PEDESTRIAN	0.2 FC	0.5 FC	0.1 FC	2.0:1	5.0:1
EAST EGRESS - PEDESTRIAN	1.7 FC	5.8 FC	1.0 FC	1.7:1	5.8:1
WEST EGRESS - PEDESTRIAN	5.0 FC	21.9 FC	1.1 FC	4.5:1	19.9:1
PROPERTY LINE	0.0 FC	0.1 FC	0.0 FC	N/A	N/A

NOTE:  
LIGHT PHOTOMETRY AND CALCULATIONS FOR EXISTING AND ADJACENT LIGHTING TO REMAIN ARE NOT INCLUDED IN THE ABOVE STATISTICS.

5/22/25	REVISED PER CITY COMMENTS	2
07/18/24	REVISED PER TRC COMMENTS	1
Date	Description	No.

Revisions

SIGNATURE MICHAEL SZURA  
N.J. LICENSED LANDSCAPE ARCHITECT  
LICENSE NO. AS00815

LANGAN  
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Environmental Services, LLC  
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NJ CERTIFICATE OF AUTHORIZATION NO. 24GA2799400

Project

BEACON UNITARIAN  
UNIVERSALIST  
CONGREGATION  
SUMMIT  
NEW JERSEY

Drawing Title

Project No.	Drawing No.
101007201	
Date	
FEBRUARY 9, 2024	
Drawn By	GR
Checked By	DB
Sheet 18 of 19	

NOTE:  
LIGHTING LAYOUT BASED ON PLANS PREPARED  
BY JAMES CLOTFELTER, LIGHTING DESIGN,  
DATED JANUARY 31, 2024.

20  
0 5 10 20  
SCALE: 1 INCH = 20 FEET

